



*Land of Cheese, Trees and Ocean Breeze*

**VARIANCE REQUEST #851-25-000078-PLNG  
VERIZON COMMUNICATIONS FACILITY**

*NOTICE TO MORTGAGEE, LIENHOLDER, VENDOR OR SELLER:  
ORS 215 REQUIRES THAT IF YOU RECEIVE THIS NOTICE,  
IT MUST BE PROMPTLY FORWARDED TO THE PURCHASER*

April 25, 2025

Dear Property Owner:

This is to confirm that the Tillamook County Department of Community Development **APPROVED WITH CONDITIONS** the above-cited request on April 25, 2025. A copy of the application, along with a map of the request area and the applicable criteria for review are available for inspection on the Tillamook County Department of Community Development website: <https://www.tillamookcounty.gov/commdev/landuseapps> and is also available for inspection at the Department of Community Development office located at 1510-B Third Street, Tillamook, Oregon 97141.

**Appeal of this decision.** This decision may be appealed to the Tillamook County Planning Commission, who will hold a public hearing. Forms and fees must be filed in the office of this Department before **4:00pm on May 7, 2025**. This decision will become final on May 7, 2025, after 4:00pm unless an appeal is filed in accordance with Tillamook County Land Use Ordinance Article X.

**Request:** Variance request to reduce the required 30-foot property line setback to 12 feet for the siting of a new wireless communications facility.

**Location:** Subject property is located off Wilson River Highway (6), a State highway, east of the Unincorporated Community of Siskeyville and designated as Tax Lot 1000 in Section 11 of Township 1 South, Range 8 West of the Willamette Meridian, Tillamook County, Oregon.

**Zone:** Forest (F)

**Applicant:** Tessie Murakami & Sarah Blanchard, 5200 SW Meadows Road, STE 150, Lake Oswego OR 97035

**Property Owner:** Oregon Department of Forestry, 5005 3<sup>rd</sup> Street, Tillamook, OR 97141

## **CONDITIONS OF APPROVAL**

Section 8.060: COMPLIANCE WITH CONDITIONS and Section 8.070: TIME LIMIT requires compliance with approved plans and conditions of this decision, and all other ordinance provisions, and allows 24 months for compliance with Conditions and start of construction. Failure to comply with the Conditions of Approval and ordinance provisions could result in nullification of this approval.

1. The applicant and property owner shall obtain all Federal, State, and Local permits, as applicable.
2. Variance approval is to reduce the required 30-foot property line setback to 12 feet as depicted on the site plan included in "Exhibit B" of the applicant's submittal for the placement of the monopole and communications facility.
3. Development shall adhere to the applicable Conditions of Approval for Conditional Use #851-24-000395-PLNG.
4. This approval shall be void on April 25, 2027, unless construction of approved plans has begun, or an extension is requested from, and approved by this Department.

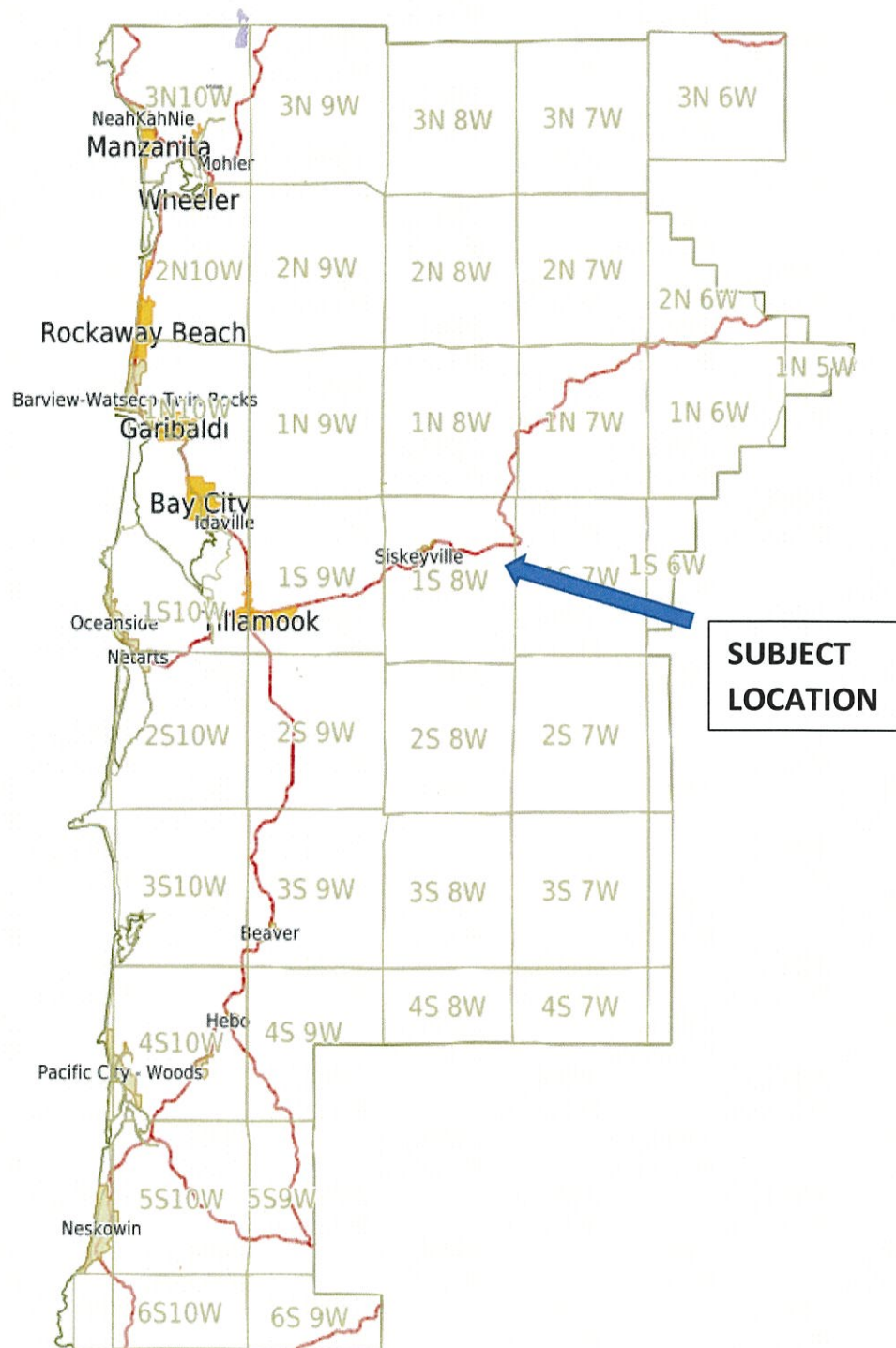
Sincerely,  
Tillamook County Department of Community Development



Sarah Absher, CFM, Director

Enc.: Vicinity, Assessor's and Zoning maps

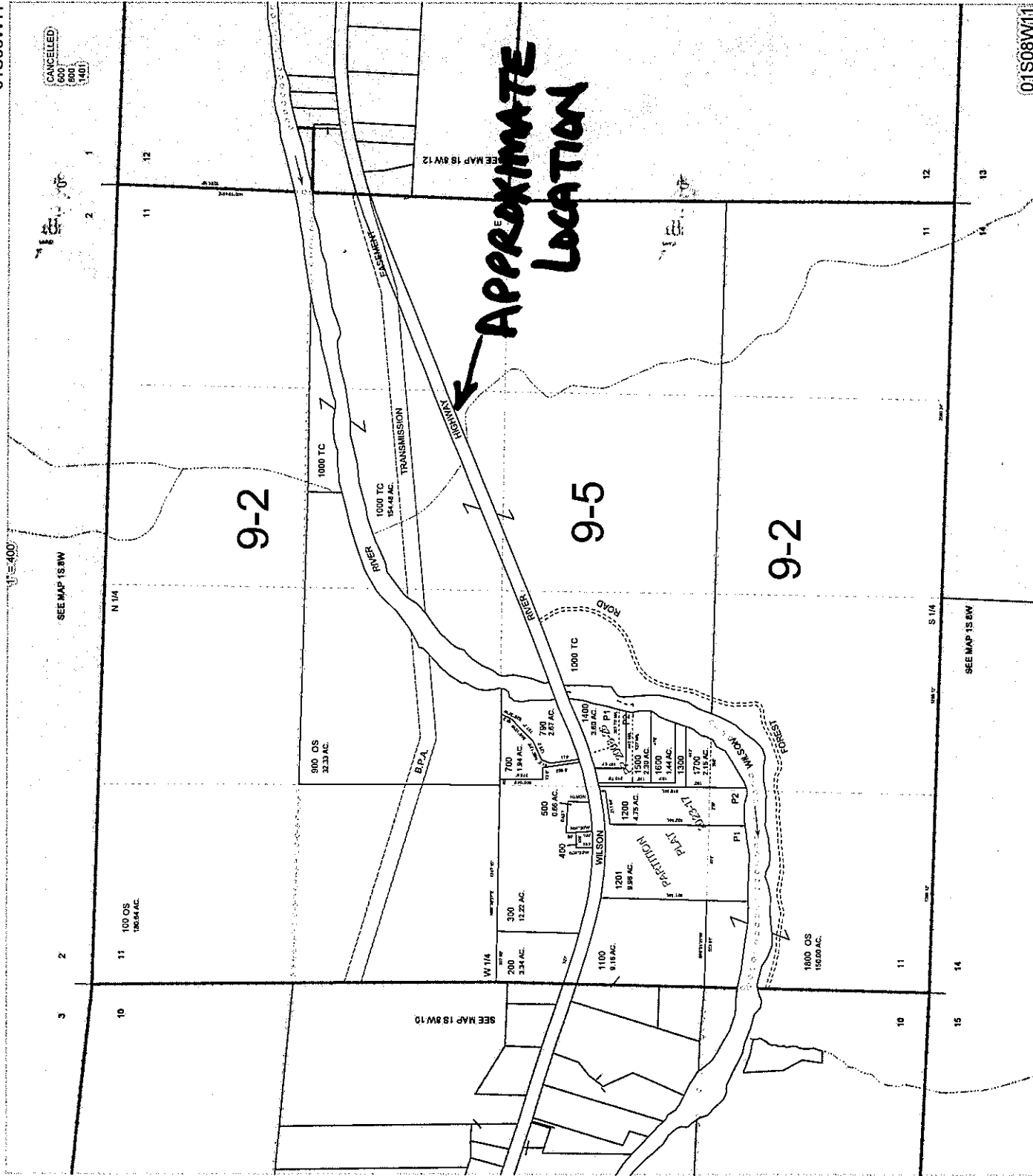
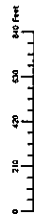
# VICINITY MAP



#851-25-000078-PLNG:  
Communications Facility Variance Request

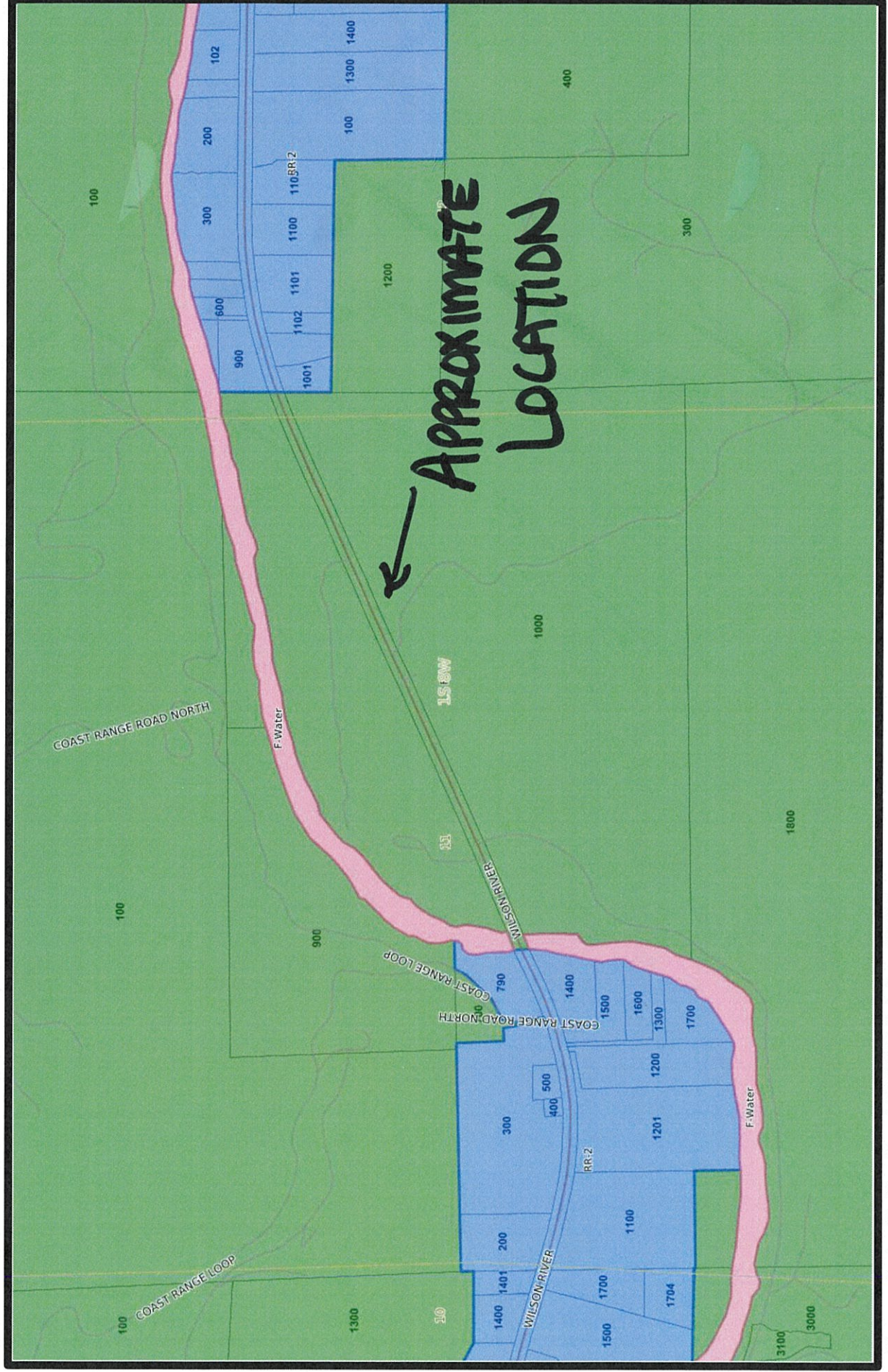
SECTION 11 T.1S. R.8W. W.M.  
TILLAMOOK COUNTY

01S08W11  
Revised 12/29/23, WS





# Map







*Land of Cheese, Trees and Ocean Breeze*

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**VARIANCE REQUEST #851-25-000078-PLNG  
OREGON DEPARTMENT OF FORESTRY  
VERIZON COMMUNICATIONS FACILITY**

**Decision: APPROVED WITH CONDITIONS**

**Staff Report Date: April 25, 2025**

**Report Prepared By: Sarah Absher, CFM, Director**

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**I. GENERAL INFORMATION:**

**Request:** Variance request to reduce the required 30-foot property line setback to 12 feet for the siting of a new wireless communications facility (Exhibit B).

**Location:** Subject property is located off Wilson River Highway (6), a State highway, east of the Unincorporated Community of Siskeyville and designated as Tax Lot 1000 in Section 11 of Township 1 South, Range 8 West of the Willamette Meridian, Tillamook County, Oregon (Exhibit A).

**Zone:** Forest (F)

**Applicant:** Tessie Murakami & Sarah Blanchard, 5200 SW Meadows Road, STE 150, Lake Oswego, OR 97035

**Property Owner:** Oregon Department of Forestry, 5005 3<sup>rd</sup> Street, Tillamook, OR 97141

**Property & Vicinity Description:** The subject property encompasses approximately 154.48-acres of forested landscape and rugged terrain (Exhibit A). County records indicate the subject property is unimproved and is classified forest lands (Exhibit A).

Zoning in the area consists of Forest (F) and Rural Residential (RR-2) zoned properties (Exhibit A). Aerial imagery confirms the forested areas within the vicinity are vacant of improvements and similar to the subject property, these forested areas consist of forested landscape and rugged terrain. Residentially zoned properties in the vicinity, east and west of the subject property, are improved with residential structures.

There are mapped wetlands features located in the vicinity and on the subject property, including the Wilson River and mapped creeks as depicted on the Oregon Statewide Wetlands Inventory Map (Exhibits A). These features are not located within close proximity to the proposed areas for development of a new wireless communications facility (Exhibits A & B).

The subject property is located within Flood Zone D as depicted on FEMA FIRM 41057C0610F dated September 28, 2018, and is not within an Area of Special Flood Hazard (Exhibit A). The subject property is within a mapped area of known geologic hazard (Exhibit A). Identified hazards include shallow susceptibility and deep susceptibility landslides and debris flow (Exhibit A).

## **II. APPLICABLE ORDINANCE AND COMPREHENSIVE PLAN PROVISIONS:**

The desired use is governed through the following Sections of the Tillamook County Land Use Ordinance (TCLUO). The suitability of the proposed use, in light of these criteria, is discussed in Section III of this report:

- A. Section 3.004: Forest (F) Zone
- B. Article VIII: Variance Procedure and Criteria

## **III. ANALYSIS:**

### **A. Section 3.004: Forest (F) Zone**

*PURPOSE: The purpose of the Forest (F) Zone is to protect and maintain forest lands for grazing, and rangeland use and forest use, consistent with existing and future needs for agricultural and forest products. The F zone is also intended to allow other uses that are compatible with agricultural and forest activities, to protect scenic resources and fish and wildlife habitat, and to maintain and improve the quality of air, water and land resources of the county.*

...

#### **1. Section 3.004(9) Siting Standards For Dwellings And Structures In Forest Zones**

*The following siting criteria or their equivalent shall apply to all new dwellings and structures in forest zones. These criteria are designed to make such uses compatible with forest operations, to minimize wildfire hazards and risks and to conserve values found on forest lands. The County shall consider the criteria in this section together with the requirements of Section (10) to identify the building site:*

...

*b) The minimum front, rear, and side yards shall all be 30 feet*

...

**Findings:** Applicant is requesting to reduce the required 30-foot property line setback to 12-feet for the siting of an 80-foot monopole as shown on the site plan in "Exhibit B" of this report. Variance approval is required to site the monopole at the requested location with the reduced setback.

*(d) Dwellings and structures shall be sited on the parcel so that:*

- 1. They have the least impact on nearby or adjoining forest or agricultural lands;*
- 2. The siting ensures that adverse impacts on forest operations and accepted farming practices on the tract will be minimized;*
- 3. The amount of forest lands used to site access roads, service corridors, the dwelling and structures is minimized; and*

4. *The risks associated with wildfire are minimized.*

*(e) Siting criteria satisfying Subsection (d) may include setbacks from adjoining properties, clustering near or among existing structures, siting close to existing roads and siting on that portion of the parcel least suited for growing trees.*

**Findings:** Staff finds that these requirements have been met through approved Conditional Use #851-24-000395-PLNG.

*(f) The applicant shall provide evidence to the governing body that the domestic water supply is from a source authorized in accordance with the Water Resources Department's administrative rules for the appropriation of ground water or surface water and not from a Class II stream as defined in the Forest Practices rules (OAR chapter 629).*

**Findings:** Domestic water is not required for the proposed development (Exhibit B).

*(g) As a condition of approval, if road access to the dwelling is by a road owned and maintained by a private party or by the Oregon Department of Forestry, the U.S. Bureau of Land Management, or the U.S. Forest Service, then the applicant shall provide proof of a long-term road access use permit or agreement. The road use permit may require the applicant to agree to accept responsibility for road maintenance.*

**Findings:** The proposal is not for the siting of a dwelling (Exhibits A & B).

## **2. Section 3.004(10): Fire Siting Standards for Dwelling and Structures:**

*(c) The owners of the dwellings and structures shall maintain a primary fuel-free break area surrounding all structures and clear and maintain a secondary fuel-free break area on land surrounding the dwelling that is owned or controlled by the owner in accordance with the provisions in "Recommended Fire Siting Standards for Dwellings and Structures and Fire Safety Design Standards for Roads" dated March 1, 1991, and published by the Oregon Department of Forestry and shall demonstrate compliance with Table (10)(c)1...*

**Findings:** The subject property is located within the fire protection service area of the Oregon Department of Forestry.

TCLUO Article 11 defines a Structure as "Anything constructed or installed or portable, the use of which requires a location on a parcel of land". As a Condition of Approval, the Applicant shall maintain the required fuel-free fire break areas around structures located on the subject property in accordance with TCLUO Section 3.004(10)(c). Staff finds that this requirement has been addressed and will be met through compliance with the Conditions of Approval of Conditional Use #851-24-000394-PLNG.

### **A. Article VIII: Variance Procedure and Criteria; including Section 4.005 Residential and Commercial Zone Standards**

The purpose of a VARIANCE is to provide relief when a strict application of the dimensional requirements for lots or structures would cause an undue or unnecessary hardship by rendering the parcel incapable of reasonable economic use. No VARIANCE shall be granted to allow a use of property not authorized by this Ordinance.



Article VIII of the Tillamook County Land Use Ordinance governs the applications of Variances within the County. Section 4.005 lists the purposes of the land use standards in each of the residential and commercial zones.

1. **Section 8.020** requires public notice in accordance with TCLUO Section 10.070 which requires notification of the request to be published in a newspaper of local distribution and mailed to landowners within 250 feet of the subject property.

**Findings:** Notice of this Variance request was mailed to property owners within 750-feet and affected agencies on March 31, 2025. Comments were received from the Oregon Department of Fish and Wildlife and are included in “Exhibit C” of this report.

2. **Section 8.030** states that a Variance may be authorized if the applicants/property owners adequately demonstrate that the proposed use satisfies all relevant requirements, including all four review criteria in Section 8.030. These criteria, including Section 4.005 Residential and Commercial Zone Standards, along with Staff's findings and conclusions are indicated below:

*(1) Circumstances attributable either to the dimensional, topographical, or hazardous characteristics of legally existing lot, or to the placement of structures thereupon, would effectively preclude the enjoyment of a substantial property right enjoyed by the majority of landowners in the vicinity, if all applicable standards were to be met. Such circumstances may not be self-created.*

**Findings:** Applicant states that the proposed site for the 80-foot monopole was selected after careful consideration of the topographic features of the land (topographic constraints), ensuring the structure will effectively meet coverage requirements with strong and reliable service along the highway (Exhibit B). Applicant adds that the tower must be positioned at this exact distance from the highway to take advantage of the natural line of site coverage (Exhibit B).

Staff finds that the circumstances and constraints identified by the Applicant are not a self-created issue, and that relief to the required 30-foot setback ensures the ability to site the monopole on the subject property.

Staff concludes this criterion is met.

*(2) A variance is necessary to accommodate a use or accessory use on the lot which can be reasonably expected to occur within the zone or vicinity.*

**Findings:** Applicant states the requested variance is necessary to site the proposed 80-foot monopole tower along Highway 6 to accommodate the wireless infrastructure needed to address the substantial coverage gap in the area, and that the variance will allow the placement of the monopole in a way that provides effective service coverage while complying with the unique topographic, dimensional and zoning requirements of the property (Exhibit B).

For the reasons stated by the Applicant, staff finds the Variance is necessary to accommodate a use on the property which can be reasonably expected to occur within the zone given approval of the project through approved Conditional Use #851-24-000395-PLNG. Staff concludes that this criterion has been met.

*(3) The proposed variance will comply with the purposes of relevant development standards as enumerated in Section 4.005 and will preserve the right of adjoining property owners to use and enjoy their land for legal purposes.*

Section 4.005: Residential and Commercial Zone Standards of the Tillamook County Land Use Ordinance lists the purposes of the land use standards in each of the residential and commercial zones as follows:

- (1) *To ensure the availability of private open spaces;*
- (2) *To ensure that adequate light and air are available to residential and commercial structures;*
- (3) *To adequately separate structures for emergency access;*
- (4) *To enhance privacy for occupants or residences;*
- (5) *To ensure that all private land uses that can be reasonably expected to occur on private land can be entirely accommodated on private land, including but not limited to dwellings, shops, garages, driveway, parking, areas for maneuvering vehicles for safe access to common roads, alternative energy facilities, and private open spaces;*
- (6) *To ensure that driver visibility on adjacent roads will not be obstructed;*
- (7) *To ensure safe access to and from common roads;*
- (8) *To ensure that pleasing view are neither unreasonably obstructed nor obtained;*
- (9) *To separate potentially incompatible land uses;*
- (10) *To ensure access to solar radiation for the purpose of alternative energy production.*

**Findings: Findings:** The proposed use, siting of an 80-foot monopole as part of a larger project to provide cellular coverage along the Highway 6 corridor, is a use that is not residential in nature. Applicant states the placement and height of the monopole have been carefully considered to avoid any disruption to adjacent properties. Surrounding properties are primarily forest zoned, and the proposed development of the monopole is not near residential properties. Applicant adds that the location and height of the tower ensure light, air and views are not blocked in a manner that would impact neighboring landowners' enjoyment of their property (Exhibit B).

The County regulates views through compliance with building height requirements. Staff finds the height of monopole complies with the maximum height requirement for structures in the Forest (F) zone outlined in TCLUO Section 3.004 (Exhibit B).

For the reasons outlined above and stated in the Applicant's submittal included as "Exhibit B" of this report, staff concludes the proposed variance complies with the purposes of relevant development standards as enumerated in Section 4.005 and preserves the right of adjoining property owners to use and enjoy their land for legal purposes. This criterion is met.

*(4) There are no reasonable alternatives requiring either a lesser or no variance.*

**Findings:** Applicant states the unique topography of the property plays a significant role in determining the location of the 80-foot monopole, and that due to natural features such as elevation changes, slopes and the layout of surrounding roads and properties, the placement of the tower in any other location would fail to meet service coverage requirements or would cause excessive interference with the surrounding environment (Exhibit B). For the reasons outlined in Applicant's submittal in "Exhibit B", Applicant states there are no reasonable alternatives requiring either a less or no variance.

Staff concurs with the Applicant's justification and concludes this criterion has been met.

#### **IV. DECISION: APPROVED WITH CONDITIONS**

Staff concludes, based on the findings of fact and other relevant information in the record, that the Applicant has satisfied/or is able to satisfy the applicable ordinance requirements through the Conditions of Approval, and therefore, approves the request subject to the provisions in Section V below.

By accepting this approval the applicants/property owners agree to indemnify, defend, save and hold harmless Tillamook County, and its officers, agents, and employees from any claim, suit, action or activity undertaken under this approval, including construction under a Building Permit approved subject to this approval. The applicants/property owners shall obtain all of the necessary local, state, and federal permits and comply with all applicable regulations for the proposed building site.

This decision may be appealed to the Tillamook County Planning Commission, who will hold a public hearing. Forms and fees must be filed in the office of this Department before **4:00 PM on May 7, 2025**.

**V. CONDITIONS OF APPROVAL:**

Section 8.060: COMPLIANCE WITH CONDITIONS and Section 8.070: TIME LIMIT requires compliance with approved plans and conditions of this decision, and all other ordinance provisions, and allows 24 months for compliance with Conditions and start of construction. Failure to comply with the Conditions of Approval and ordinance provisions could result in nullification of this approval.

1. The applicant and property owner shall obtain all Federal, State, and Local permits, as applicable.
2. Variance approval is to reduce the required 30-foot property line setback to 12 feet as depicted on the site plan included in "Exhibit B" of the applicant's submittal for the placement of the monopole and communications facility.
3. Development shall adhere to the applicable Conditions of Approval for Conditional Use #851-24-000395-PLNG.
4. This approval shall be void on April 25, 2027, unless construction of approved plans has begun, or an extension is requested from, and approved by this Department.

**VI. EXHIBITS**

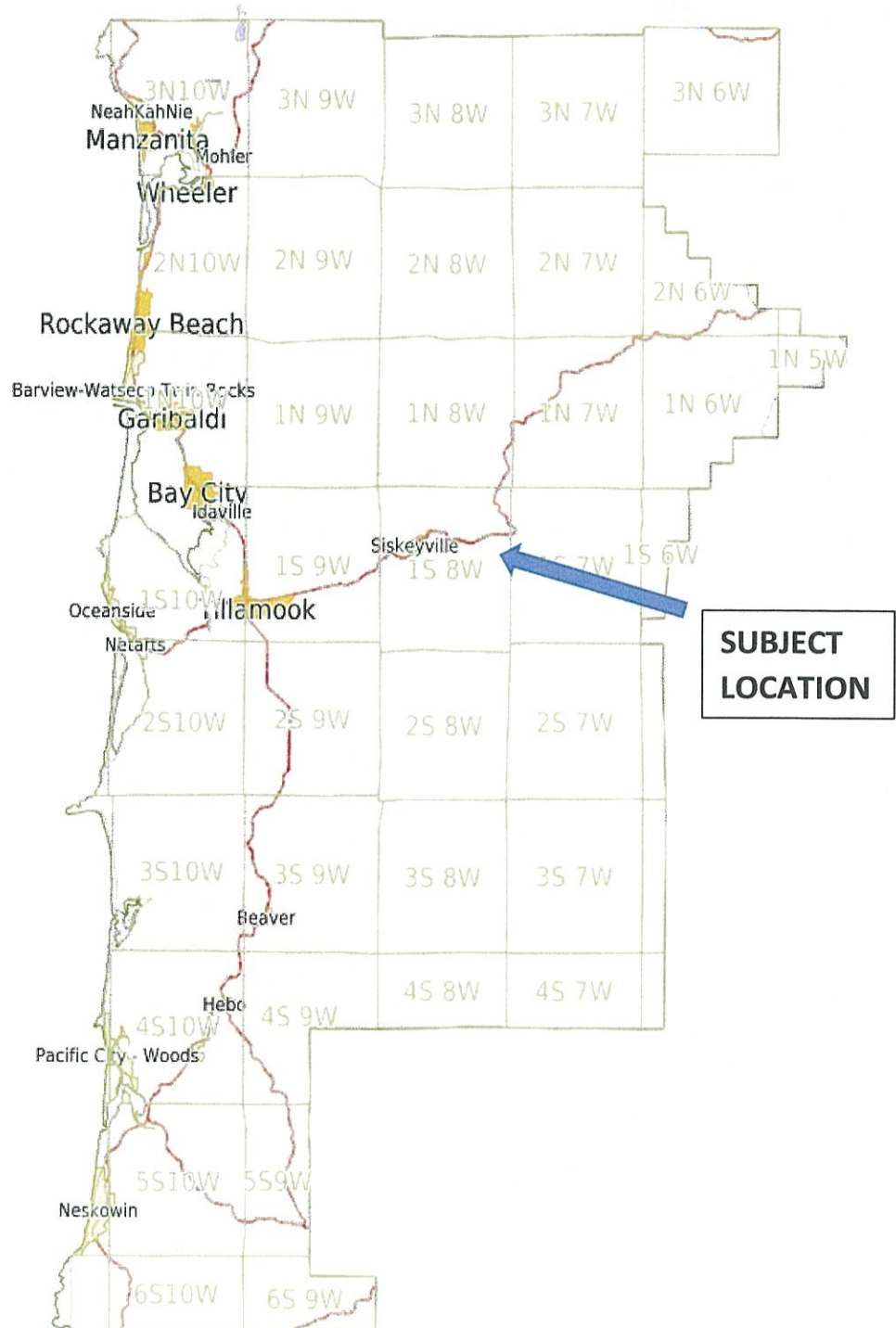
All Exhibits referred to herein are, by this reference, made a part hereof:

- A. Location Map, Assessor map, Zoning map, DOGAMI Hazard Map, FEMA FIRM, Wetland Inventory Map, Assessment Summary
- B. Applicant's submittal
- C. Public/Agency Comments



# EXHIBIT A

# VICINITY MAP



#851-25-000078-PLNG:  
Communications Facility Variance Request

SECTION 11 T.1S. R.8W. W.M.  
TILLAMOOK COUNTY

CANCELLED  
600  
800  
1401

SEE MAP 15 BW

N 114

9-2

5-6

9-2

SEE MAP 19 BY 10

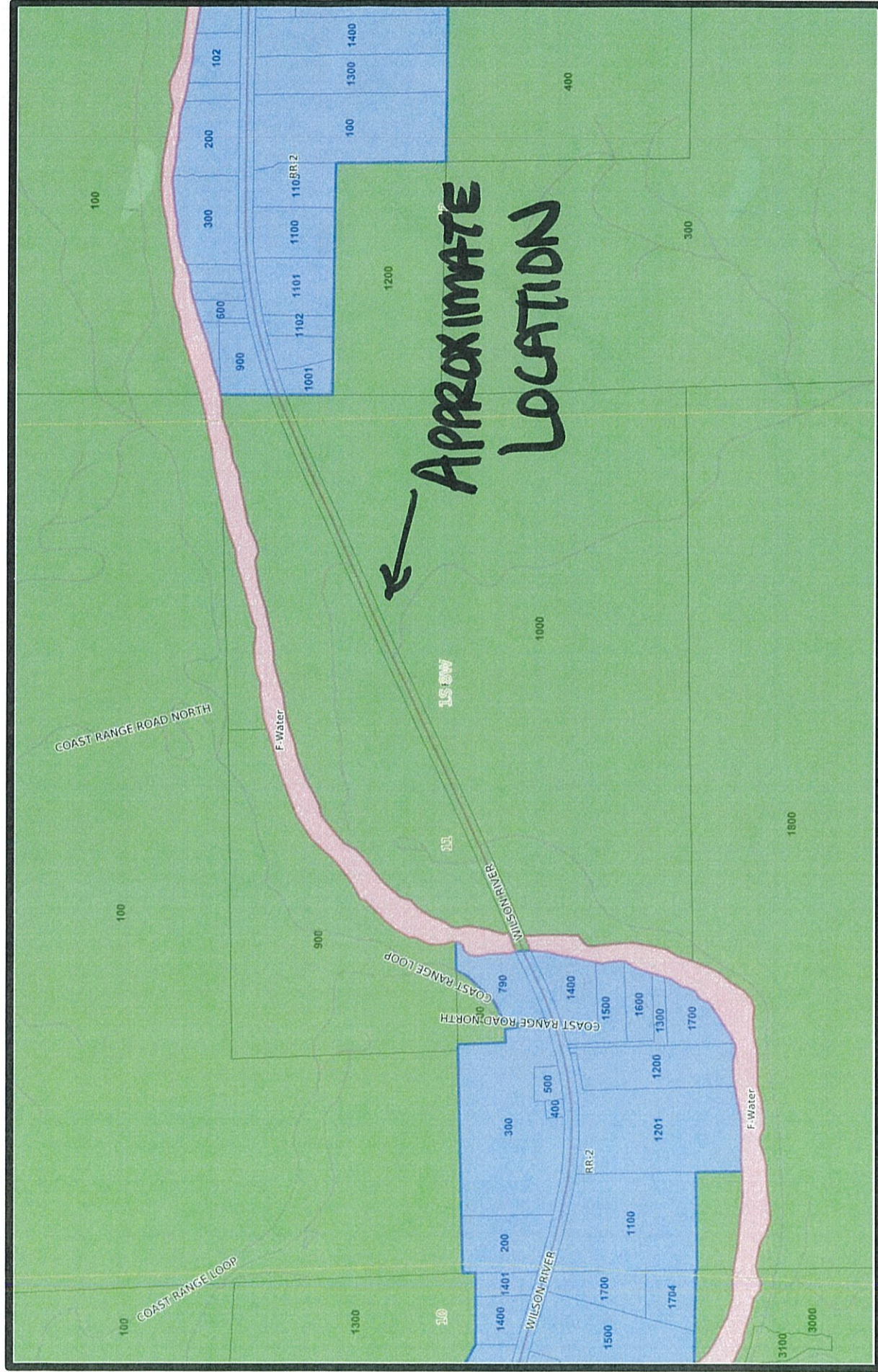
SEE MAP 15 BW

**APPROXIMATE  
LOCATION**

01S08W11  
Revised 12/29/23, WS



# Map





# National Flood Hazard Layer FIRMette

123°38'1"W 45°29'46"N



## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS	Without Base Flood Elevation (BFE) Zone A, V, AE9 With BFE or Depth Zone AE, AO, AH, VE, AR Regulatory Floodway
----------------------------	--

0.2% Annual Chance Flood Hazard. Area of 1% annual chance flood with average depth less than one foot or with draining areas of less than one square mile Zone.

Future Conditions 1% Annual Chance Flood Hazard Zone X

Area with Reduced Flood Risk due to Levee. See Notes. Zone X

Area with Flood Risk due to Levee Zone D

### OTHER AREAS OF FLOOD HAZARD

NO SCREEN  
Area of Minimal Flood Hazard Zone X  
Effective LOMRS

### OTHER AREAS

Area of Undetermined Flood Hazard Zone

GENERAL STRUCTURES  
Channel, Culvert, or Storm Sewer  
Levee, Dike, or Floodwall

Cross Sections with 1% Annual Chance Water Surface Elevation  
17.5

Coastal Transect  
Base Flood Elevation Line (BFE)

Limit of Study  
Jurisdiction Boundary

Coastal Transect Baseline  
Profile Baseline

Hydrographic Feature

### OTHER FEATURES

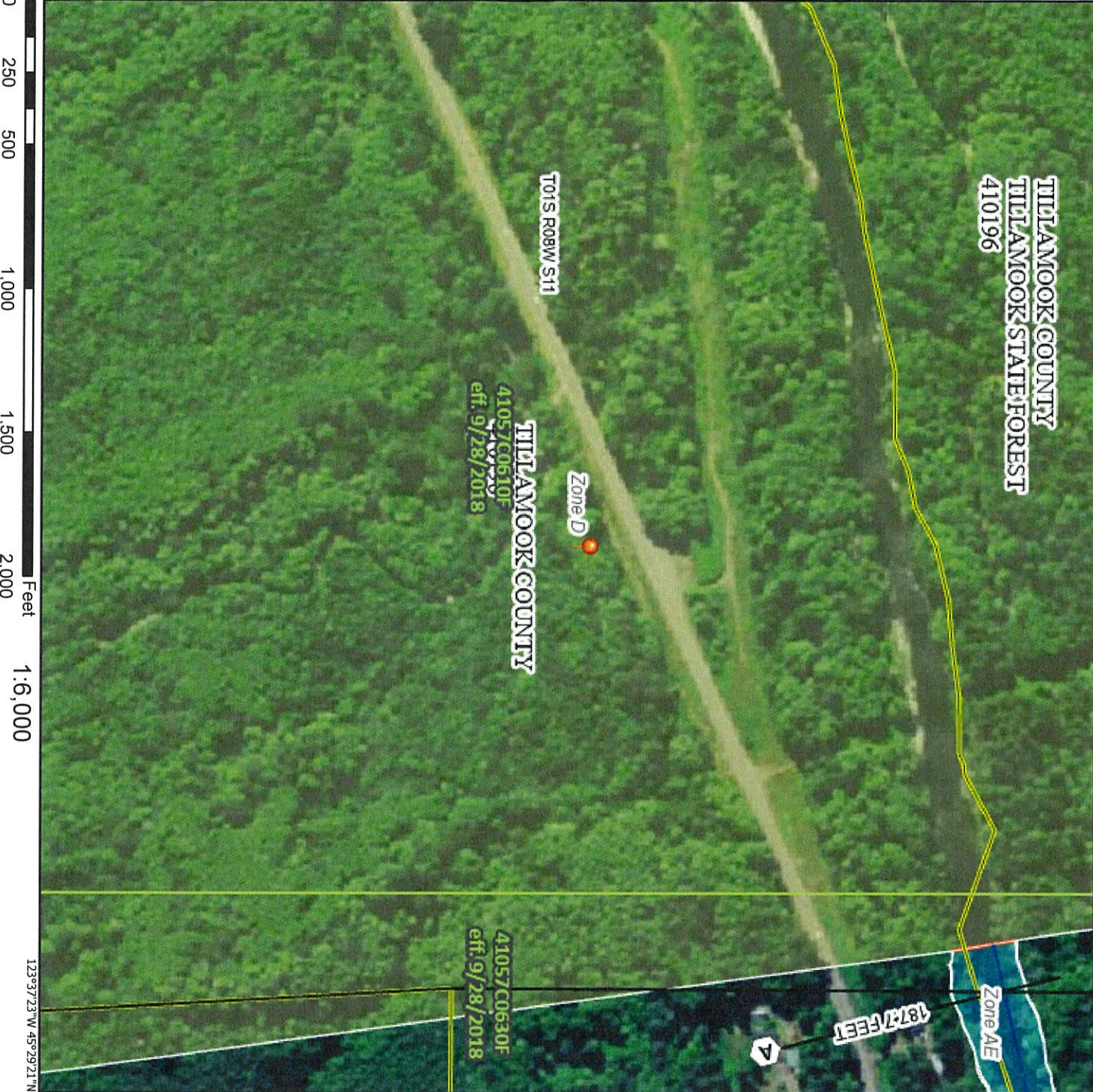
MAP PANELS	Digital Data Available	No Digital Data Available	Unmapped
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The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

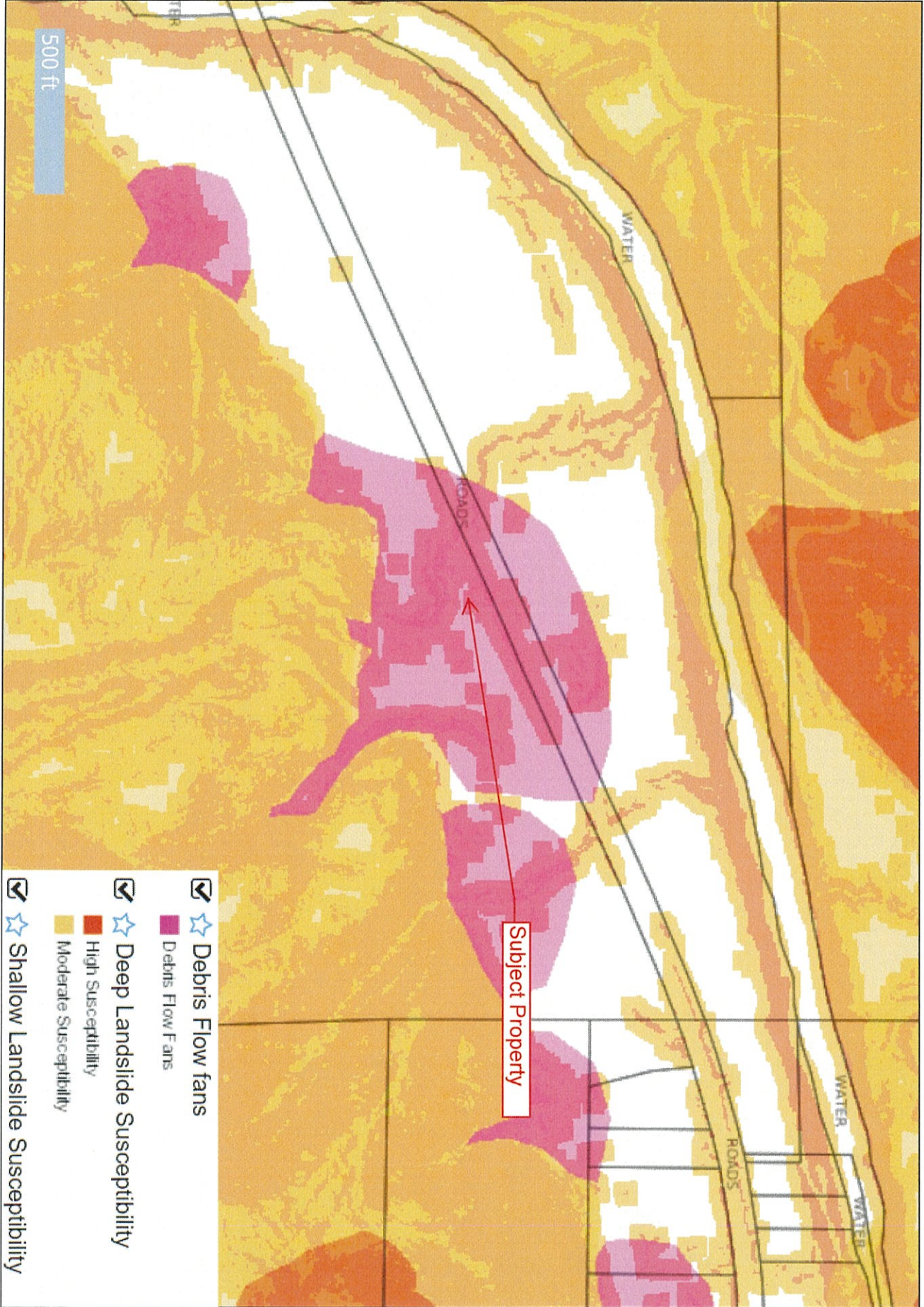
The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 10/12/2024 at 11:27 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmapped areas cannot be used for regulatory purposes.





# Hazard Map



**Disclaimer:** The spatial information hosted at this website was derived from a variety of sources. Care was taken in the creation of these themes, but they are provided "as is." The state of Oregon, or any of the data providers cannot accept any responsibility for errors, omissions, or positional accuracy in the digital data or underlying records. There are no warranties, expressed or implied, including the warranty of merchantability or fitness for a particular purpose, accompanying any of these products. However, notification of any errors would be appreciated. The data are clearly not intended to indicate the authoritative location of property boundaries, the precise shape or contour of the earth or the precise location of fixed works of humans.

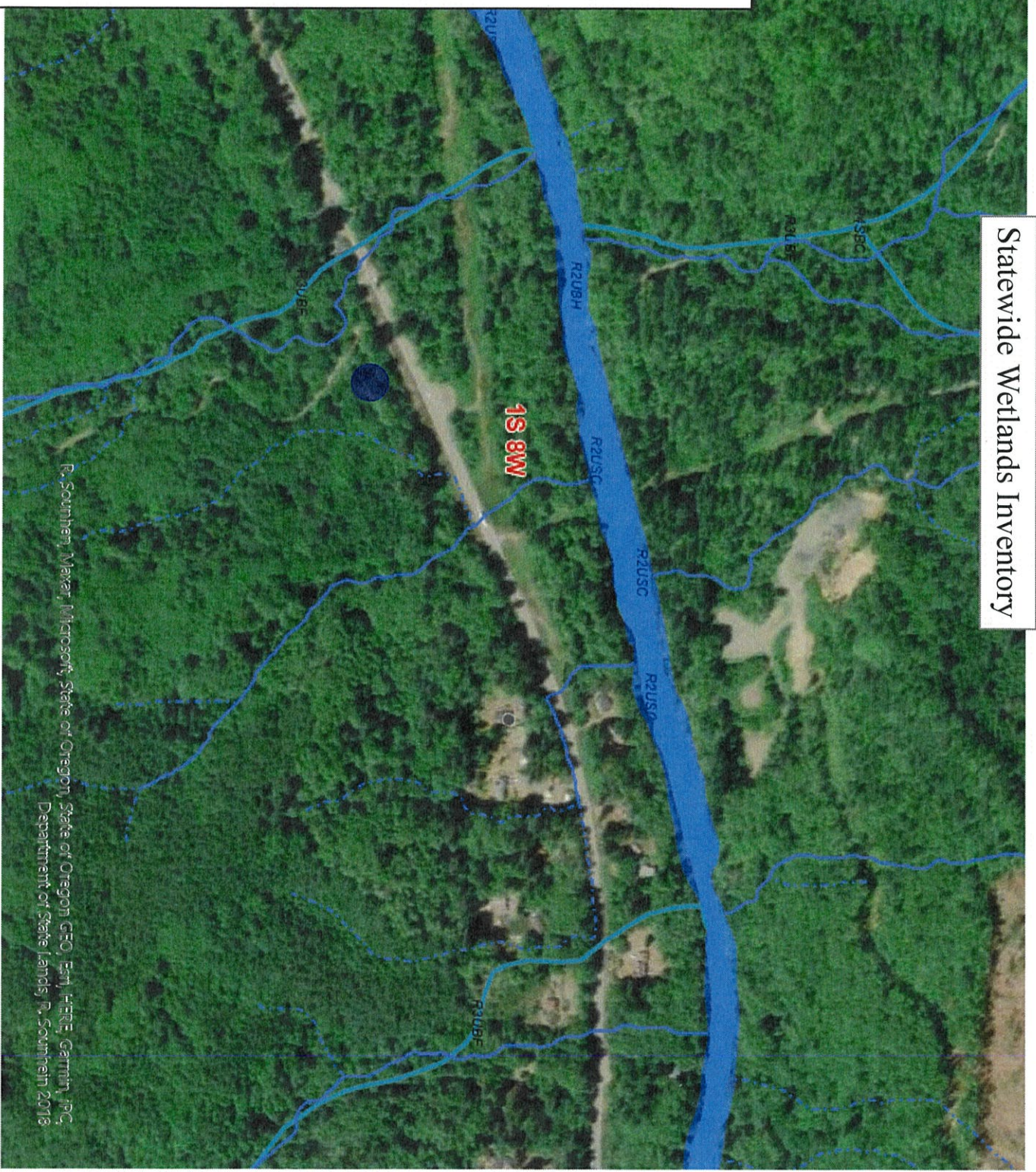


# Statewide Wetlands Inventory

- Townships
- LWI Study Area
- BASEDAT.DBO.NHDWaterbody
- BASEDAT.DBO.NHDArea
- BASEDAT.DBO.NHDFlowline
- Perennial
- Intermittent
- Epithermal
- Unknown
- Canal/Ditch
- Canal/Ditch
- Canal/Ditch
- Canal/Ditch
- BASEDAT.DBO.NHDPont

## Wetlands

- Estuarine and Marine Deepwater
- Estuarine and Marine Wetland
- Freshwater Emergent Wetland
- Freshwater Forested/Shrub Wetland
- Freshwater Pond
- Lake
- Riverine
- SWI Agate-Wind Soils
- SWI Predominantly Hydric Soil Map Units



R. Southern, Mawer, Microsoft, State of Oregon, State of Oregon GEO, Esri, HERE, Garmin, JP, Department of State Lands, R. Southern 2013



N



**Tillamook County**  
**2024 Real Property Assessment Report**  
 Account 299395

<b>Map</b>	1S08110001000	<b>Tax Status</b>	Non-Assessable
<b>Code - Tax ID</b>	0905 - 299395	<b>Account Status</b>	Active
		<b>Subtype</b>	NORMAL
<b>Legal Descr</b>	See Record		
<b>Mailing</b>	OREGON, STATE OF	<b>Deed Reference #</b>	See Record
		<b>Sales Date/Price</b>	See Record
		<b>Appraiser</b>	KARI FLEISHER

**Property Class** 960    **MA**    **SA**    **NH**  
**RMV Class** 600    01    01    600

Site Situs Address	City
22825 WILSON RIVER HWY	COUNTY

Value Summary						
Code Area		RMV	MAV	AV	RMV Exception	CPR %
0905	Land	241,950		Land	0	
	Impr	0		Impr	0	
Code Area Total		241,950	0	0	0	
Grand Total		241,950	0	0	0	

Land Breakdown									
Code Area	ID #	RFPD	Ex	Plan Zone	Value Source	Trend %	Size	Land Class	Trended RMV
0905	0	<input checked="" type="checkbox"/>		F	Classified Forest Land	100	154.48 AC	OA	241,950
<b>Code Area Total</b>							154.48 AC		241,950

Improvement Breakdown									
Code Area	ID #	Year Built	Stat Class	Description	Trend %	Total Sqft	Ex%	MS Acct	Trended RMV

Exemptions / Special Assessments / Notations	
Code Area 0905	
Exemptions (AV)	Amount
■ STATE GOVERNMENT 307.090	0

**Comments**    6/12/09 Tabled forestland.LM 6/9/16 Size change per GIS.LM 7/27/18 Due to a land swap. This account is now owned by the State of Oregon. Changed PCA and Exemption code to reflect. KF

# EXHIBIT B





## PLANNING APPLICATION

**Applicant** ☐ (Check Box if Same as Property Owner)

Name: Sarah Blanchard Phone: 503.310.0544

Address: 5200 SW Meadows Rd., Suite 150

City: Lake Oswego

State: OR

Zip: 97035

Email: sarah.blanchard@acomconsultinginc.com

### Property Owner

Name: Oregon Dept. of Forestry (ODF) Phone: Zach Rabe - 503-842-2545

Address: 5005 Third Street

City: Tillamook

State: OR

Zip: 97141

Email: Zach.D.RABE@odf.oregon.gov

OFFICE USE ONLY	
Date Stamp	
<b>RECEIVED</b>	
FEB 21 2025	
BY: <i>[Signature]</i>	
<input type="checkbox"/> Approved <input type="checkbox"/> Denied	
Received by:	
Receipt #:	
Fees:	
Permit No:	
851-25-000078-PLNG	

**Request:** Type II Variance Review for a new wireless communications facility (with Verizon Wireless antennas colocated on light pole) along Highway 6.

POR HWY 6 SC 3

POR HWY 6 SC 3

### Type II

- ☐ Farm/Forest Review
- ☐ Conditional Use Review
- ☒ Variance
- ☐ Exception to Resource or Riparian Setback
- ☐ Nonconforming Review (Major or Minor)
- ☐ Development Permit Review for Estuary Development
- ☐ Non-farm dwelling in Farm Zone
- ☐ Fore-dune Grading Permit Review
- ☐ Neskowin Coastal Hazards Area

### Type III

- ☐ Detailed Hazard Report
- ☐ Conditional Use (As deemed by Director)
- ☐ Ordinance Amendment
- ☐ Map Amendment
- ☐ Goal Exception
- ☐ Nonconforming Review (As deemed by Director)
- ☐ Variance (As deemed by Director)

### Type IV

- ☐ Ordinance Amendment
- ☐ Large-Scale Zoning Map Amendment
- ☐ Plan and/or Code Text Amendment

### Location:

Site Address: 22825 Wilson River Hwy., Tillamook, OR 97141 (299395/1S08110001000)

Map Number: 1S

08

110

1000

Township

Range

Section

Tax Lot(s)

Clerk's Instrument #: \_\_\_\_\_

### Authorization

This permit application does not assure permit approval. The applicant and/or property owner shall be responsible for obtaining any other necessary federal, state, and local permits. The applicant verifies that the information submitted is complete, accurate, and consistent with other information submitted with this application.

Property Owner Signature (Required)

**Zachariah Rabe**

Digitally signed by Zachariah Rabe

Date: 2025.02.14 11:46:27 -08'00'

Date

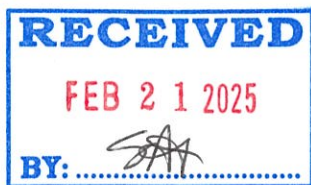
Applicant Signature

*[Signature]*

*Applicant*

Date

2/14/25



LAND USE APPLICATION -  
VARIANCE

**VERIZON WIRELESS  
TELECOMMUNICATIONS  
FACILITY AT**

22825 Wilson River Hwy  
Tillamook, OR 97141

**Prepared By**



**Date**  
February 17, 2025

**Project Name**  
POR HWY 6 - 03



## **I. GENERAL INFORMATION**

**Applicant:** Verizon Wireless  
5430 NE 122<sup>nd</sup> Avenue  
Portland, OR 97230

**Representative:** Acom Consulting, Inc.  
Tessie Murakami  
5200 SW Meadows Rd., Suite 150  
Lake Oswego, OR 97035

**Property Owner:** Oregon Dept. of Forestry  
Zach Rabe  
5005 3<sup>rd</sup> Street  
Tillamook, OR 97141

### **Project Information:**

**Site Address:** 22825 Wilson River Hwy, Tillamook, OR 97141  
**Parcel:** 1S08110001000  
**Account Number:** 299395  
**Parcel Area:** 154.48 acres  
**Zone Designation:** F (Forest)  
**Existing Use:** Forest  
**Project Area:** 100 Square Feet (10' x 10') accessed by a short 10' wide access and utility easement.

## **II. PROJECT OVERVIEW**

Acom Consulting is applying on behalf of Verizon Wireless, who will own and operate the tower and ground space; Cellco Partnership dba Verizon Wireless, who will be located on this facility and the property owner, Tillamook County. The site proposed herein is designed to improve the voice and data capacity for its customers in Tillamook County and along Highway 6. This is part of the initiative to provide better coverage of 911 calls on the highway since it is known as the deadly stretches in Oregon. The state is mandating all carriers to address the coverage gap at HWY OR-6.

The applicant proposes to construct a new wireless communications facility ("WCF") within a 10' x 10' ground lease area. This proposal includes an 80-foot monopole tower with up to 3 antennas at an antenna tip-height of 80' and associated RRU's, equipment cabinets, backup generator, and high security fence with 3 strands barbed wire. The site will be accessed via an existing driveway off HWY OR-6.

The monopole tower would be a metal pole and can be painted a non-reflective color to blend with the adjacent mature trees and sky. The proposed monopole (small cell) is only 80' and is a part of Verizon's small cells



project in Tillamook County which is requiring additional poles to be installed along HWY OR-6 for the proposal to provide adequate service coverage in the area.

This site was chosen because HWY OR-6 is currently significantly underserved by wireless coverage, even though there is a substantial amount of traffic every day. The lack of existing wireless facilities in the area contributes to lack of coverage. The newly proposed small cells will provide much needed coverage in areas that would be difficult to serve using conventional tower-based transmitters. These sites will not only help improve customer experience but also help public safety and emergency services by allowing communication in an otherwise cut-off area.

This site can meet the Tillamook County criteria for sitting of new wireless telecommunication facilities, including height, setbacks and design as demonstrated herein. As shown throughout this application, Verizon's proposal is the least intrusive means of meeting coverage objectives. The applicants respectfully request that Tillamook County approve the variance and facility as proposed.

### **III. PROPOSED PLAN**

This is a variance request to reduce the required 30-foot property line setback to 12 ft. to support the approved construction of the 80 ft. monopole tower to provide cellular service and coverage along the highway. The subject property is surrounded by Forest and highway traffic.

### **IV. APPLICABLE ORDINANCE AND COMPREHENSIVE PLAN PROVISIONS**

- A. TCLUO Section 3.004 – Forest (F) Zone
- B. TCLUO Article VIII – Variance Procedures and Criteria - Section 8.030 Review Criteria

### **V. ANALYSIS**

- A. TCLUO Section 3.004 – Forest (F) Zone

#### **(1) PURPOSE**

(a) The purpose of the Forest (F) Zone is to protect and maintain forest lands for grazing, and rangeland use and forest use, consistent with existing and future needs for agricultural and forest products. The F zone is also intended to allow other uses that are compatible with agricultural and forest activities, to protect scenic resources and fish and wildlife habitat, and to maintain and improve the quality of air, water and land resources of the county.

(b) The F zone has been applied to lands designated as Forest in the Comprehensive Plan. The provisions of the F zone reflect the forest land policies of the Comprehensive Plan.



as well as the requirements of ORS Chapter 215 and OAR 660-006. The minimum parcel size and other standards established by this zone are intended to promote commercial forest operations.

*Applicant's response: The proposed WCF is located in the Forest (F) zone.*

## (2) DEFINITIONS

Words used in the present tense include the future; the singular number includes the plural; and the word "shall" is mandatory and not directory. Whenever the term "this ordinance" is used herewith, it shall be deemed to include all amendments thereto as may hereafter from time to time be adopted.

For the purpose of this zone, the following definitions apply:

(dd) **UTILITY FACILITIES NECESSARY FOR PUBLIC SERVICE:** Unless otherwise specified in this Article, any facility owned or operated by a public, private or cooperative company for the transmission, distribution or processing of its products or for the disposal of cooling water, waste or by-products, and including, major trunk, pipelines, dams & and other hydroelectric facilities, water towers, sewage lagoons, cell towers, electrical transmission facilities (except transmission towers over 200' in height) including substations not associated with a commercial power generating facilities and other similar facilities.

*Applicant's response: The proposed WCF qualifies as a utility facility necessary for public service.*

## B. TCLUO Article VIII – Variance Procedures and Criteria - Section 8.030 Review Criteria

### SECTION 8.030: REVIEW CRITERIA

A VARIANCE shall be granted, according to the procedures set forth in Section 8.020, if the applicant adequately demonstrates that the proposed VARIANCE satisfies all of the following criteria:

- (1) Circumstances attributable either to the dimensional, topographic, or hazardous characteristics of a legally existing lot, or to the placement of structures thereupon, would effectively preclude the enjoyment of a substantial property right enjoyed by the majority of landowners in the vicinity, if all applicable standards were to be met. Such circumstances may not be self-created.

*Applicant's response:*

*The proposed site for the 80-foot monopole was selected after careful consideration of the topographic features of the land. The terrain along Highway 6 presents challenges, such as uneven land or areas with limited elevation, which restrict the ability to place a taller tower that would otherwise meet coverage objectives. The 80-foot monopole represents an optimal height for ensuring coverage without imposing significant visual impact on the landscape or surrounding properties. The site's dimensions and natural features make this tower the most feasible solution for expanding service in this area.*

*The placement of the tower 12 feet from the highway is a critical factor in ensuring that the structure will effectively meet the coverage requirements. The unique topography and layout of the land make this location optimal for extending the network's range, ensuring strong and reliable service along the*





highway. The tower must be positioned at this exact distance from the highway to take advantage of natural line-of-sight coverage, minimizing potential interference and maximizing signal strength. Further, no hazardous areas or conditions, such as flood zones or unstable terrain, would affect the tower installation. The precise distance of 12 feet ensures that the tower is positioned in a safe location relative to the highway, ensuring the safety of both the infrastructure and the surrounding community.

- (2) A VARIANCE is necessary to accommodate a use or accessory use on the parcel which can be reasonably expected to occur within the zone or vicinity.

*Applicant's response:*

*A variance is necessary for the proposed 80-foot monopole tower to be positioned along Highway 6 to accommodate the wireless infrastructure needed to address the substantial coverage gap in the area. The variance will allow Verizon to place the monopole in a way that provides effective service coverage while complying with the unique topographic, dimensional, and zoning requirements of the parcel. Although the use of a telecommunications tower is generally reasonable and expected use within this zone or vicinity, the specific placement and dimensions required for the tower to function effectively call for a variance.*

*The installation of wireless telecommunications infrastructure, including monopole towers, is a reasonable and common use within this zone and vicinity, especially along major highways like Highway 6. The need for reliable mobile service—both for general users and for public safety communications—makes this infrastructure essential. However, due to the topography of the site and the need for the monopole to be positioned 12 feet from the highway to maximize signal effectiveness, the structure cannot conform to the standard 30 ft. setback requirements.*

- (3) The proposed VARIANCE will comply with the purposes of relevant development standards as enumerated in Section 4.005 and will preserve the right of adjoining property owners to use and enjoy their land for legal purposes.

*Applicant's response:*

*The proposed variance for the 80-foot monopole tower along Highway 6 will comply with the purposes of the relevant development standards as outlined in Section 4.005 of the zoning code. These standards are designed to ensure that new development is compatible with surrounding land uses, protects the health, safety, and welfare of the community, and minimizes negative impacts on neighboring properties.*

*The monopole's placement and height have been carefully considered to avoid any disruption to adjacent properties. The surrounding land is primarily in a forest zone, where telecommunications infrastructure is expected and compatible with the area's broader land-use goals. The monopole is not near residential properties and the height and location of the tower ensure it does not block light, air, or views in a way that would impact neighboring landowners' enjoyment of their property.*

*By ensuring the monopole is placed in a location that does not infringe on neighboring landowners' rights to use their property (such as by taking up excessive space or obstructing existing structures), the variance will not preclude the adjacent properties from being used for their intended legal purposes. The*



*monopole's small footprint and limited visibility ensure that it will not interfere with the enjoyment of adjoining landowners' properties.*

- (4) There are no reasonable alternatives requiring either a lesser or no VARIANCE.

*Applicant's response:*

*The unique topography of the parcel plays a significant role in determining the location of the monopole. Due to natural land features such as elevation changes, slopes, and the layout of surrounding roads and properties, the placement of the tower in any other location would fail to meet the service coverage requirements or would cause excessive interference with the surrounding environment.*

*The terrain along Highway 6 restricts where the monopole can be placed for optimal coverage. Moving the tower away from the highway would result in a substantial reduction in coverage, as the signal strength would decrease significantly without the proper line of sight. This precise location, 12 feet from the highway, ensures that the tower can provide the necessary coverage for both travelers and residents while minimizing interference from nearby structures or topographic obstacles.*

*Further, the monopole must be placed as close as possible to the highway to ensure adequate coverage along this vital transportation corridor. Moving the tower further away from the highway would result in signal degradation and failure to meet Verizon's coverage objectives. Without the variance, the monopole could not achieve the necessary height, coverage, or line of sight required to serve the area effectively.*

*The requested variance for the 80-foot monopole tower is necessary because there are no reasonable alternatives that would meet the service needs of the area without requiring either a lesser or no variance. The unique topography, zoning restrictions, and engineering requirements dictate that the tower must be positioned 12 feet from the highway to provide the optimal coverage along Highway 6. Relocating the tower or attempting to reduce the variance would result in inadequate service coverage, failure to meet Verizon's technical requirements, and potential disruption to surrounding properties. Therefore, the proposed variance is the only feasible option to ensure the tower serves its intended purpose while minimizing impacts to the surrounding community.*

*Verizon respectfully request the County approve the Variance to the 30-ft setback.*

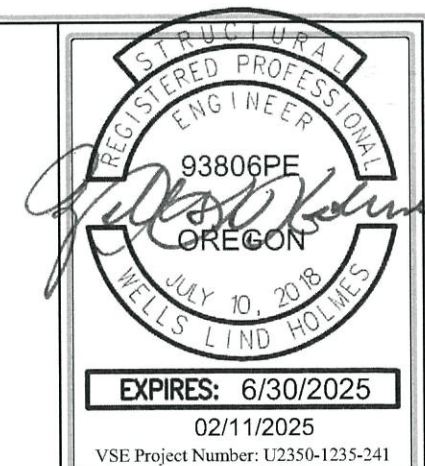




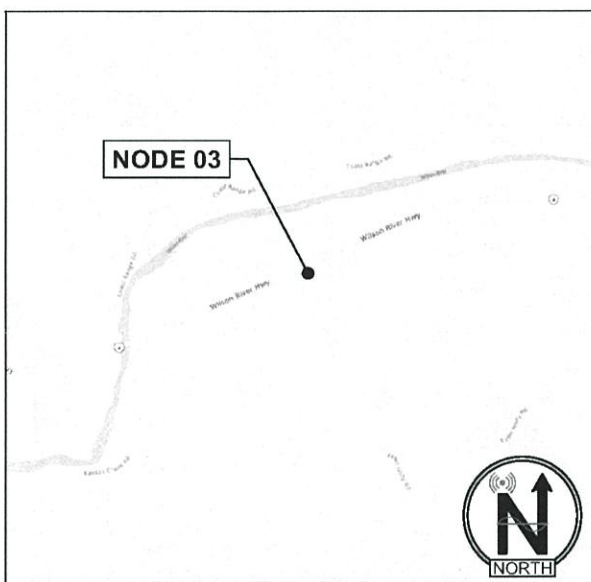
HWY 6

MDG LC: 5000906499

SITE NAME: POR HWY 6 - 03  
ADDRESS: 22825 WILSON RIVER HWY  
TILLAMOOK, OR 97141  
COUNTY: TILLAMOOK  
JURISDICTION: TILLAMOOK COUNTY  
POLE TYPE: NEW METAL POLE  
POLE #: NA  
ANTENNA LOCATION: POLE MOUNTED



VICINITY MAP



TOWER PHOTO



PROJECT CONTACT LIST

**PROPERTY OWNER:** OREGON DEPARTMENT OF FORESTRY  
**UTILITY TOWER OWNER:** N/A  
**IMPLEMENTATION CONTACT:** CHRISTOPHER LEWIS, VERIZON WIRELESS (VAW) LLC, 5430 NE 122ND AVENUE, PORTLAND, OR 97230, PHONE: (951) 796-5523, christopher.lewis2@verizonwireless.com  
**A&E CONSULTANT:** RICK MATTESON, ACOM CONSULTING, INC, 5200 SW MEADOWS RD, SUITE 150, LAKE OSWEGO, OR 97035, PHONE: (425) 209-6723, rick.matteson@acomconsultinginc.com  
**REAL ESTATE:** SARAH BLANCHARD, ACOM CONSULTING, INC, 5200 SW MEADOWS RD, SUITE 150, LAKE OSWEGO, OR 97035, PHONE: (503) 310-5538, sarah.blanchard@acomconsultinginc.com  
**ZONING / PERMITTING:** TESSIE MURAKAMI, ACOM CONSULTING, INC, 5200 SW MEADOWS RD, SUITE 150, LAKE OSWEGO, OR 97035, PHONE: (310) 483-5343, tessie.murakami@acomconsultinginc.com  
**ENGINEER OF RECORD:** WELLS L. HOLMES, S.E., VECTOR STRUCTURAL ENGINEERING, 651 W GALENA PARK BLVD, SUITE 101, DRAPER, UT 84020, PHONE: (801) 990-1775  
**ELECTRICAL ENGINEER:** DEAN P. LEVORSEN, P.E., VECTOR STRUCTURAL ENGINEERING, 651 W GALENA PARK BLVD, SUITE 101, DRAPER, UT 84020, PHONE: (801) 990-1775

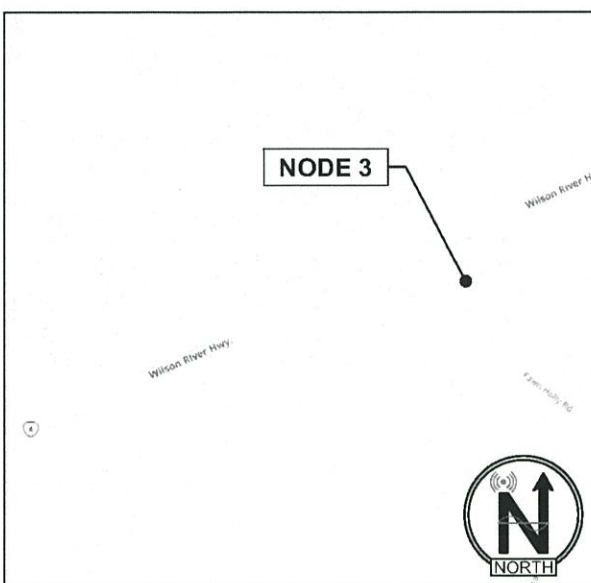
DRAWING INDEX

T-1 COVER SHEET  
T-2 GENERAL NOTES AND SYMBOLS  
C-00 GRADING & EROSION CONTROL PLAN  
C-01 SECTIONS, PROFILES & NOTES  
A-1.0 AERIAL IMAGE / SITE LOCATION  
A-2.0 ANTENNA & EQUIPMENT PLANS  
A-3.0 EXISTING AND PROPOSED ELEVATIONS  
A-4.0 CONSTRUCTION DETAILS  
A-5.0 CONSTRUCTION DETAILS  
A-6.0 ANTENNA DETAILS  
E-1.0 TYPICAL ONE-LINE DIAGRAM AND PANEL SCHEDULE  
RF-1 ANTENNA CONFIGURATION  
T-1 TOWER TITLE SHEET  
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NO.	DATE	DRAWN	REVISION
B	08/03/23	KM	SURVEY UPDATE
C	05/31/24	KM	RFDS UPDATE
0	12/11/24	DO	100% FINAL CD
1	12/16/24	KM	100% FINAL CD
2	01/27/25	KM	CLIENT COMMENTS
3	02/11/25	KM	CLIENT COMMENTS



LOCATION MAP



DRIVING DIRECTIONS

FROM VERIZON WIRELESS OFFICE - PORTLAND, OR:  
HEAD SOUTHWEST ON NE 122ND AVE TOWARD NE WHITAKER WAY. TURN RIGHT ONTO NE FREMONT ST. USE THE RIGHT LANE TO TURN LEFT ONTO NE 102ND AVE. TURN RIGHT TO MERGE ONTO I-84 W/US-30 W TOWARD PORTLAND. MERGE ONTO I-84 W/US-30 W. USE THE LEFT 2 LANES TO MERGE ONTO I-5 S TOWARD SALEM. USE THE LEFT LANE TO TAKE THE I-405 EXIT TOWARD US-26/BEAVERTON. CONTINUE ONTO I-405 N. USE THE RIGHT 2 LANES TO TAKE EXIT 1D FOR U.S. 26 W TOWARD BEAVERTON. CONTINUE ONTO US-26 W. SLIGHT LEFT ONTO OR-6 W (SIGNS FOR BANKS/TILLAMOOK). FOLLOW FOR 30.9 MILES. DESTINATION IS ON THE LEFT BEFORE FAWN HOLLY RD.

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT CONDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

OREGON STATE AND LOCAL BUILDING CODES WITH THE FOLLOWING REFERENCE CODE:  
2021 IBC, STANDARDS AND AMENDMENTS - 2022 OSSC  
2022 OREGON MECHANICAL SPECIALTY CODE (OMSC)  
2021 IFC, STANDARDS AND AMENDMENTS - 2022 OFC  
2021 UPC, STANDARDS AND AMENDMENTS - 2021 OPSC  
2020 NEC, STANDARDS AND AMENDMENTS - 2021 OESC

PROJECT INFORMATION

JURISDICTION: TILLAMOOK COUNTY  
ZONING CLASSIFICATION: F - FOREST  
ADJACENT ZONE: R-6  
CONSTRUCTION TYPE: UTILITY  
PROPOSED BUILDING USE: TELECOM  
PROPOSED STRUCTURE HEIGHT: 80.0' (TOP OF NEW POLE)  
LATITUDE: 45.492700° N  
45° 29' 33.72" N  
LONGITUDE: -123.629342° W  
123° 37' 45.63" W  
GROUND ELEVATION: ±249.0 AMSL

SCOPE OF WORK

VERIZON WIRELESS PROPOSES TO:  
• PROPOSES TO INSTALL WIRELESS EQUIPMENT IN FENCED COMPOUND LOCATED OUTSIDE R-O-W  
• PROPOSES TO INSTALL (4) NEW ANTENNAS & (1) NEW MOUNT ON NEW POLE  
• PROPOSES TO INSTALL (1) NEW SMALL CELL CABINET ON CONCRETE PAD  
• PROPOSES TO INSTALL (1) NEW HYBRID AND APPROVED CABLE STRAP MOUNTED ON NEW POLE

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF ACOM CONSULTING.

HWY 6  
SMALL CELL NODE 03  
22825 WILSON RIVER HWY  
TILLAMOOK, OR 97141

COVER SHEET

T-1



## GENERAL NOTES

1. WORK SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS. ALL NECESSARY LICENSES, CERTIFICATES, ETC., REQUIRED BY AUTHORITY HAVING JURISDICTION SHALL BE PROCURED AND PAID FOR BY THE CONTRACTOR.
2. ACOM HAS NOT CONDUCTED, NOR DOES IT INTEND TO CONDUCT ANY INVESTIGATION AS TO THE PRESENCE OF HAZARDOUS MATERIAL, INCLUDING, BUT NOT LIMITED TO, ASBESTOS WITHIN THE CONFINES OF THIS PROJECT. ACOM DOES NOT ACCEPT RESPONSIBILITY FOR THE INDEMNIFICATION, THE REMOVAL, OR ANY EFFECTS FROM THE PRESENCE OF THESE MATERIALS. IF EVIDENCE OF HAZARDOUS MATERIALS IS FOUND, WORK IS TO BE SUSPENDED AND THE OWNER NOTIFIED. THE CONTRACTOR IS NOT TO PROCEED WITH FURTHER WORK UNTIL INSTRUCTED BY THE OWNER IN WRITING.
3. ALL MATERIAL FURNISHED UNDER THIS CONTRACT SHALL BE PROPOSED, UNLESS OTHERWISE NOTED. ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP. THE CONTRACTOR SHALL REPAIR OR REPLACE AT HIS EXPENSE ALL WORK THAT MAY DEVELOP DEFECTS IN MATERIALS OR WORKMANSHIP WITHIN SAID PERIOD OF TIME OR FOR ONE YEAR AFTER THE FINAL ACCEPTANCE OF THE ENTIRE PROJECT, WHICHEVER IS GREATER.
4. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AND UTILITIES AT THE JOB SITE BEFORE WORK IS STARTED. NO CLAIMS FOR EXTRA COMPENSATION FOR WORK WHICH COULD HAVE BEEN FORESEEN BY AN INSPECTION, WHETHER SHOWN ON THE CONTRACT DOCUMENTS OR NOT, WILL BE ACCEPTED OR PAID.
5. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING DIMENSIONS AND CONDITIONS AT THE JOB SITE WHICH COULD AFFECT THE WORK UNDER THIS CONTRACT. ALL MANUFACTURERS RECOMMENDED SPECIFICATIONS, EXCEPT THOSE SPECIFICATIONS HEREIN, WHERE MOST STRINGENT SHALL BE COMPLIED WITH.
6. THE CONTRACTOR SHALL VERIFY AND COORDINATE SIZE AND LOCATION OF ALL OPENINGS FOR STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, CIVIL, OR ARCHITECTURAL WORK.
7. THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST BETWEEN THE LOCATIONS OF ANY AND ALL MECHANICAL, ELECTRICAL, PLUMBING, OR STRUCTURAL ELEMENTS, AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE MET. NOTIFY THE CONSULTANT OF ANY CONFLICTS. THE CONSULTANT HAS THE RIGHT TO MAKE MINOR MODIFICATIONS IN THE DESIGN OF THE CONTRACT WITHOUT THE CONTRACTOR GETTING ADDITIONAL COMPENSATION.
8. DO NOT SCALE THE DRAWINGS. DIMENSIONS ARE EITHER TO THE FACE OF FINISHED ELEMENTS OR TO THE CENTER LINE OF ELEMENTS, UNLESS NOTED OTHERWISE. CRITICAL DIMENSIONS SHALL BE VERIFIED AND NOTIFY THE CONSULTANT OF ANY DISCREPANCIES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY CLEAN UP OF ALL TRADES AND REMOVE ALL DEBRIS FROM THE CONSTRUCTION SITE. AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE BUILDING, SITE, AND ANY OTHER SURROUNDING AREAS TO A BETTER THAN EXISTING CONDITION.
10. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, ETC. ACCORDING TO APPLICABLE CODES, STANDARDS, AND GOOD CONSTRUCTION PRACTICES.
11. THE CONTRACTOR SHALL MEET ALL OSHA REQUIREMENTS FOR ALL INSTALLATIONS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO THE EXISTING CONSTRUCTION AND REPAIR ALL DAMAGES TO BETTER THAN PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY AVISTA OF ANY DAMAGE TO THE SITE OR ANY ADJACENT STRUCTURES AROUND THE PROJECT. THE CONSULTANT SHALL BE SOLE AND FINAL JUDGE AS TO THE QUALITY OF THE REPAIRED CONSTRUCTION. ANY ADDITIONAL MODIFICATIONS WHICH MUST BE MADE SHALL BE MADE AT THE CONTRACTOR'S EXPENSE.
13. WHERE ONE DETAIL IS SHOWN FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS, EVEN THOUGH NOT SPECIFICALLY MARKED ON THE DRAWINGS OR REFERRED TO IN THE SPECIFICATIONS, UNLESS NOTED OTHERWISE.
14. WHERE PROPOSED PAVING, CONCRETE SIDEWALKS OR PATHS MEET EXISTING CONSTRUCTION, THE CONTRACTOR SHALL MATCH THE EXISTING PITCH, GRADE, AND ELEVATION SO THE ENTIRE STRUCTURE SHALL HAVE A SMOOTH TRANSITION.
15. THE CONTRACTOR SHALL MODIFY THE EXISTING STRUCTURE AS REQUIRED. WHERE THE EXISTING STRUCTURE MUST BE MODIFIED, GENERAL CONTRACTOR SHALL REPAIR TO ORIGINAL CONDITION. ALL WORK SHALL BE COVERED UNDER THE GENERAL CONTRACT.

16. VERIFY ALL EXISTING DIMENSIONS PRIOR TO PERFORMING WORK.
17. VERIFY LOCATION OF ALL BURIED UTILITIES PRIOR TO ANY EXCAVATION.
18. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING FOR COMMERCIAL POWER IMMEDIATELY UPON AWARD OF CONTRACT. THE GENERAL CONTRACTOR IS REQUIRED TO KEEP ALL DOCUMENTATION RECEIVED FROM THE POWER COMPANY, ACKNOWLEDGING APPLICATION FOR POWER, WRITTEN AND VERBAL DISCUSSIONS WITH THE POWER COMPANY, ETC.
19. THE GENERAL CONTRACTOR SHALL OBTAIN WRITTEN CONFIRMATION OF THE EXPECTED DATE OF COMPLETION OF THE POWER CONNECTION FROM THE POWER COMPANY.
20. IF THE POWER COMPANY IS UNABLE TO PROVIDE THE POWER CONNECTION BY OWNER'S REQUIRED DATE, THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN A TEMPORARY GENERATOR UNTIL THE POWER COMPANY CONNECTION IS COMPLETED. COSTS ASSOCIATED WITH THE TEMPORARY GENERATOR TO BE APPROVED BY THE OWNER.
21. IF THE GENERAL CONTRACTOR FAILS TO TAKE NECESSARY MEASURES AS DESCRIBED IN NOTES 19, 20 AND 21 ABOVE, THE GENERAL CONTRACTOR SHALL PROVIDE A TEMPORARY GENERATOR AT NO COST TO THE OWNER.
22. PLANS PART OF THIS SET ARE COMPLEMENTARY. INFORMATION IS NOT LIMITED TO ONE PLAN. DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY ARE NOT TO BE USED BY THE OWNER ON OTHER PROJECTS OR EXTENSION TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT. THESE PLANS WERE PREPARED TO BE SUBMITTED TO GOVERNMENTAL BUILDING AUTHORITIES FOR REVIEW FOR COMPLIANCE WITH APPLICABLE CODES AND IT IS THE SOLE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO BUILD ACCORDING TO APPLICABLE BUILDING CODES.
23. IF CONTRACTOR OR SUB-CONTRACTOR FIND IT NECESSARY TO DEVIATE FROM ORIGINAL APPROVED PLANS, THEN IT IS THE CONTRACTOR'S AND THE SUB-CONTRACTOR'S RESPONSIBILITY TO PROVIDE THE ARCHITECT WITH 4 COPIES OF THE PROPOSED CHANGES FOR HIS APPROVAL BEFORE PROCEEDING WITH THE WORK. IN ADDITION THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR PROCURING ALL NECESSARY APPROVALS FROM THE BUILDING AUTHORITIES FOR THE PROPOSED CHANGES BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR PROCURING ALL NECESSARY INSPECTIONS AND APPROVALS FROM BUILDING AUTHORITIES DURING THE EXECUTION OF THE WORK.
24. IN EVERY EVENT, THESE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS SHALL BE INTERPRETED TO BE A MINIMUM ACCEPTABLE MEANS OF CONSTRUCTION BUT THIS SHALL NOT RELIEVE THE CONTRACTOR, SUB-CONTRACTOR, AND/OR SUPPLIER/MANUFACTURER FROM PROVIDING A COMPLETE AND CORRECT JOB WHEN ADDITIONAL ITEMS ARE REQUIRED TO THE MINIMUM SPECIFICATION. IF ANY ITEMS NEED TO EXCEED THESE MINIMUM SPECIFICATIONS TO PROVIDE A COMPLETE, ADEQUATE AND SAFE WORKING CONDITION, THEN IT SHALL BE THE DEEMED AND UNDERSTOOD TO BE INCLUDED IN THE DRAWINGS. FOR EXAMPLE, IF AN ITEM AND/OR PIECE OF EQUIPMENT REQUIRES A LARGER WIRE SIZE (I.E. ELECTRICAL WIRE), STRONGER OR LARGER PIPING, INCREASED QUANTITY (I.E. STRUCTURAL ELEMENTS), REDUCED SPACING, AND/OR INCREASED LENGTH (I.E. BOLT LENGTHS, BAR LENGTHS) THEN IT SHALL BE DEEMED AND UNDERSTOOD TO BE INCLUDED IN THE BID/PROPOSAL. THESE DOCUMENTS ARE MEANT AS A GUIDE AND ALL ITEMS REASONABLY INFERRED SHALL BE DEEMED TO BE INCLUDED.
25. THESE CONTRACT DOCUMENTS AND SPECIFICATIONS SHALL NOT BE CONSTRUED TO CREATE A CONTRACTUAL RELATIONSHIP OF ANY KIND BETWEEN THE ARCHITECT AND THE CONTRACTOR.

## LINE/ANTENNA NOTES

1. ALL THREADED STRUCTURAL FASTENERS FOR ANTENNA SUPPORT ASSEMBLES SHALL CONFORM TO ASTM A307 OR ASTM A36. ALL STRUCTURAL FASTENERS FOR STRUCTURAL STEEL FRAMING SHALL CONFORM TO ASTM A325. FASTENERS SHALL BE 5/8" MIN. DIA. BEARING TYPE CONNECTIONS WITH THREADS EXCLUDED FROM THE PLANE. ALL EXPOSED FASTENERS, NUTS, AND WASHERS SHALL BE GALVANIZED OTHERWISE NOTED. CONCRETE EXPANSION ANCHORS SHALL BE HILTI KWIK BOLTS UNLESS OTHERWISE NOTED. ALL ANCHORS INTO CONCRETE SHALL BE STAINLESS STEEL.
2. NORTH ARROW SHOWN ON PLANS REFERS TO TRUE NORTH. CONTRACTOR SHALL VERIFY MAGNETIC NORTH AND NOTIFY CONSULTANT OF ANY DISCREPANCY BEFORE STARTING CONSTRUCTION.
3. PROVIDE LOCK WASHERS FOR ALL MECHANICAL CONNECTIONS FOR GROUND CONDUCTORS. USE STAINLESS STEEL HARDWARE THROUGHOUT.
4. THOROUGHLY REMOVE ALL PAINT AND CLEAN ALL DIRT FROM SURFACES REQUIRING GROUND CONNECTIONS.
5. MAKE ALL GROUND CONNECTIONS AS SHORT AND DIRECT AS POSSIBLE. AVOID SHARP BENDS. ALL BENDS TO BE A MIN. OF 8" RADIUS.
6. FOR GROUNDING TO GROUND BARS USE A TWO-BOLT HOLE NEMA DRILLED CONNECTOR SUCH AS T&B 32007 OR APPROVED EQUAL.
7. FOR ALL EXTERNAL GROUND CONNECTIONS, CLAMPS AND CADWELDS, APPLY A LIBERAL PROTECTIVE COATING OR AN ANTI-OXIDE COMPOUND.
8. REPAIR ALL GALVANIZED SURFACES THAT HAVE BEEN DAMAGED BY THERMO-WELDING. USE ERICO T-319 GALVANIZING BAR/COLD GALVANIZING PAINT.

## PROJECT INFORMATION

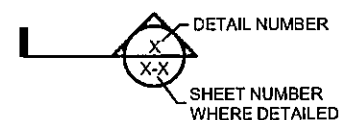
1. THIS IS AN UNMANNED FACILITY AND RESTRICTED ACCESS EQUIPMENT AND WILL BE USED FOR THE TRANSMISSION OF RADIO SIGNALS FOR THE PURPOSE OF PROVIDING PUBLIC CELLULAR SERVICE.
2. VERIZON WIRELESS CERTIFIES THAT THIS TELEPHONE EQUIPMENT FACILITY WILL BE SERVICED ONLY BY VERIZON WIRELESS EMPLOYEE SERVICE PERSONNEL FOR REPAIR PURPOSES ONLY. THIS FACILITY IS UNOCCUPIED AND NOT DESIGNED FOR HUMAN OCCUPANCY THUS IT IS NOT OPEN TO THE PUBLIC.
3. THIS FACILITY WILL CONSUME NO UNRECOVERABLE ENERGY.
4. NO POTABLE WATER SUPPLY IS TO BE PROVIDED AT THIS LOCATION.
5. NO WASTE WATER WILL BE GENERATED AT THIS LOCATION.
6. NO SOLID WASTE WILL BE GENERATED AT THIS LOCATION.
7. VERIZON WIRELESS MAINTENANCE CREW (TYPICALLY ONE PERSON) WILL MAKE AN AVERAGE OF ONE TRIP PER MONTH AT ONE HOUR PER VISIT.

## LEGEND

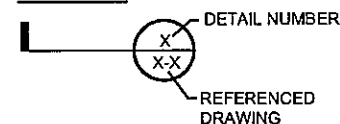
### ABBREVIATIONS:

(E) EXISTING  
(P) PROPOSED

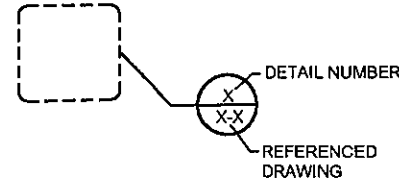
### BUILDING/WALL/DETAIL SECTION:



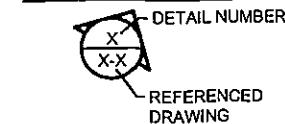
### REFERENCE:



### LARGE SCALE DETAIL:

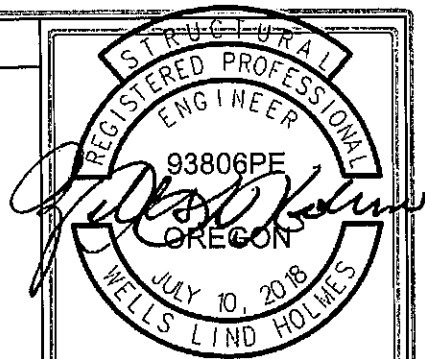


### ELEVATION REFERENCE:



## IMPORTANT NOTICE

THE EXISTING CONDITIONS REPRESENTED HEREIN ARE BASED ON VISUAL OBSERVATIONS AND INFORMATION PROVIDED BY OTHERS. ACOM CONSULTING CANNOT GUARANTEE THE CORRECTNESS NOR COMPLETENESS OF THE EXISTING CONDITIONS SHOWN AND ASSUMES NO RESPONSIBILITY THEREOF. CONTRACTOR AND HIS SUB-CONTRACTORS SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS AS REQUIRED FOR PROPER EXECUTION OF PROJECT. REPORT ANY CONFLICTS OR DISCREPANCIES TO THE CONSULTANT PRIOR TO CONSTRUCTION.



EXPIRES: 6/30/2025

02/11/2025

VSE Project Number: U2350-1235-241

NO.	DATE	DRAWN	REVISION
B	08/03/23	KM	SURVEY UPDATE
C	05/31/24	KM	RFDS UPDATE
D	12/11/24	DO	100% FINAL CD
1	12/16/24	KM	100% FINAL CD
2	01/27/25	KM	CLIENT COMMENTS
3	02/11/25	KM	CLIENT COMMENTS

CLIENT:



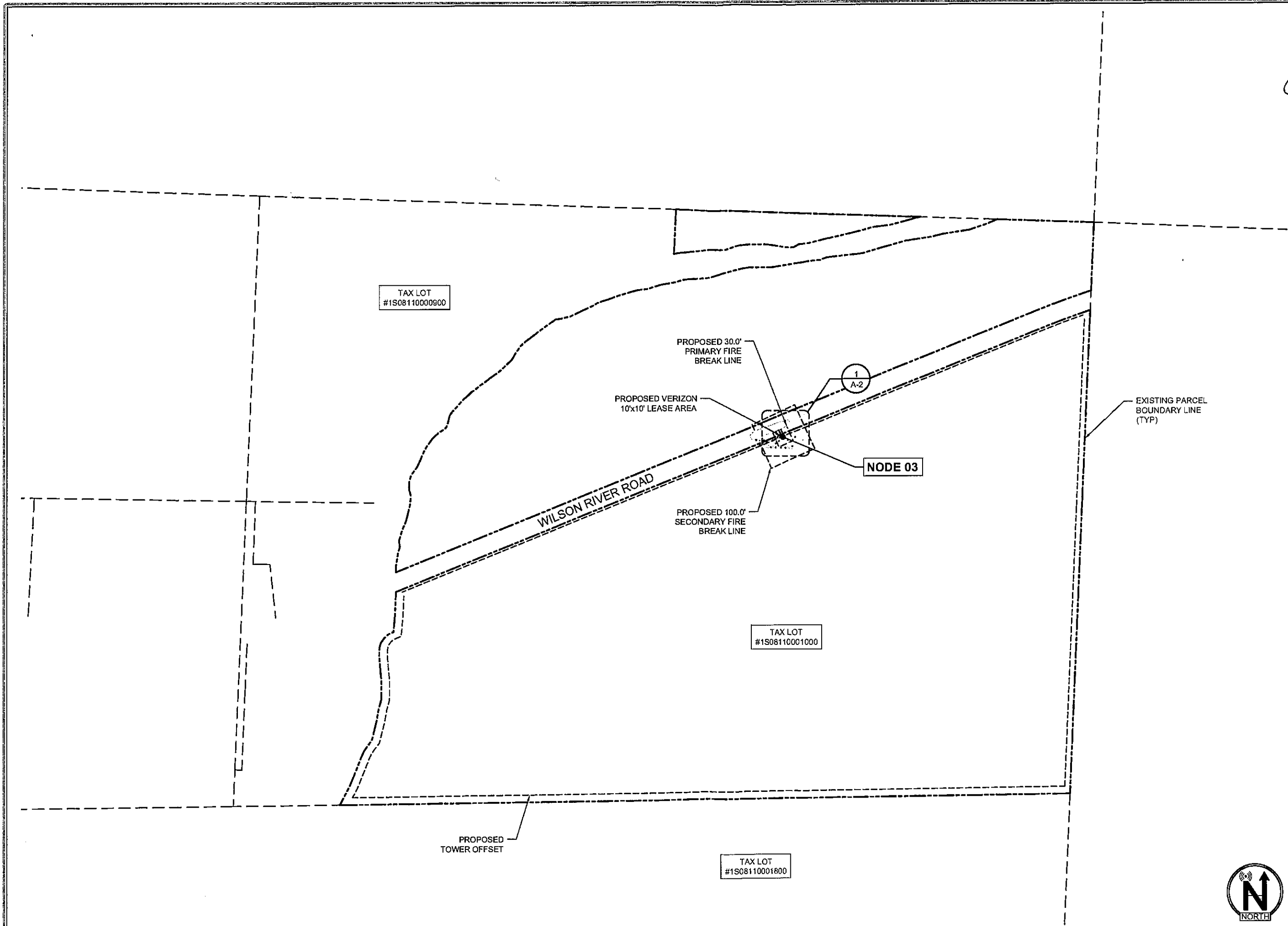
ASE CONSULTANT, SITE ACQUISITION AND PERMITTING.



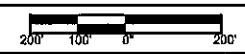
**HWY 6  
SMALL CELL NODE 03**  
22825 WILSON RIVER HWY  
TILLAMOOK, OR 97141

**GENERAL NOTES  
AND SYMBOLS**

**T-2**



22"x34" SCALE: 1" = 200'-0"  
11"x17" SCALE: 1" = 400'-0"



STRUCTURAL  
REGISTERED PROFESSIONAL  
ENGINEER  
93806PE  
OREGON  
JULY 10, 2018  
WELLS LIND HOLMES

EXPIRES: 6/30/2025  
02/11/2025  
VSE Project Number: U2350-1235-241

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CLIENT:

AME CONSULTANT, SITE ACQUISITION AND PERMITTING:

HWY 6  
SMALL CELL NODE 03  
22825 WILSON RIVER HWY  
TILLAMOOK, OR 97141

OVERALL SITE  
PLAN

A-1.0



POLE MOUNTED EQUIPMENT SCHEDULE									
CATEGORY	MANUFACTURER	MODEL NUMBER	UNIT HEIGHT / LENGTH	UNIT WIDTH	UNIT DEPTH	UNIT WEIGHT	MOUNT HEIGHT (CENTER)	PROPOSED	
								QUANTITY	WEIGHT
MOUNT	SITEPRO1	CWT01	--	--	--	116.50 LBS	78'-0"	3	349.5 LBS
MOUNT	SITEPRO1	UGLM	--	--	--	87.58 LBS	78'-0"	1	87.58 LBS
ANTENNA	COMMSCOPE	NHH-45A-R2B	48.0"	18.0"	7.0"	63.1 LBS	78'-0"	2	66.0 LBS
RRU	ERICSSON	4890	21.8"	15.7"	7.5"	84.0 LBS	78'-0"	1	75.0 LBS
RRU	ERICSSON	4490	15.0"	13.0"	9.0"	70.0 LBS	78'-0"	1	71.0 LBS

PROPOSED ANTENNA CONFIGURATION AND CABLE SCHEDULE										
SECTOR	QTY	AZIMUTH	TECH.	TIP HEIGHT	MF'R	MODEL #	ANTENNA SIZE	MECH. TILT	FEEDER CABLE	CABLE LGTH.
D1	1	60°	5G	79'-2"	ERICSSON	AIR6419	34.5"	0° (2° ELEC)	FIBER	TBD
D2	1	60°	4G	80'-0"	JMA	MX12FRO445-01	56.9"	0° (2° ELEC)	FIBER	TBD
D2	1	250°	5G	79'-2"	ERICSSON	AIR6419	34.5"	0° (2° ELEC)	FIBER	TBD
D2	1	250°	4G	80'-0"	JMA	MX12FRO445-01	56.9"	0° (2° ELEC)	FIBER	TBD

STRUCTURAL  
REGISTERED PROFESSIONAL  
ENGINEER  
93806PE  
OREGON  
JULY 10, 2018  
WELLS LIND HOLMES

EXPIRES: 6/30/2025  
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VSE Project Number: U2350-1235-241

ANTENNA SCHEDULE 2

NO.	DATE	DRAWN	REVISION
B	08/03/23	KM	SURVEY UPDATE
C	05/31/24	KM	RFDS UPDATE
D	12/11/24	DO	100% FINAL CD
1	12/16/24	KM	100% FINAL CD
2	01/27/25	KM	CLIENT COMMENTS
3	02/11/25	KM	CLIENT COMMENTS

CLIENT:

verizon

A&E CONSULTANT, SITE ACQUISITION AND PERMITTING:

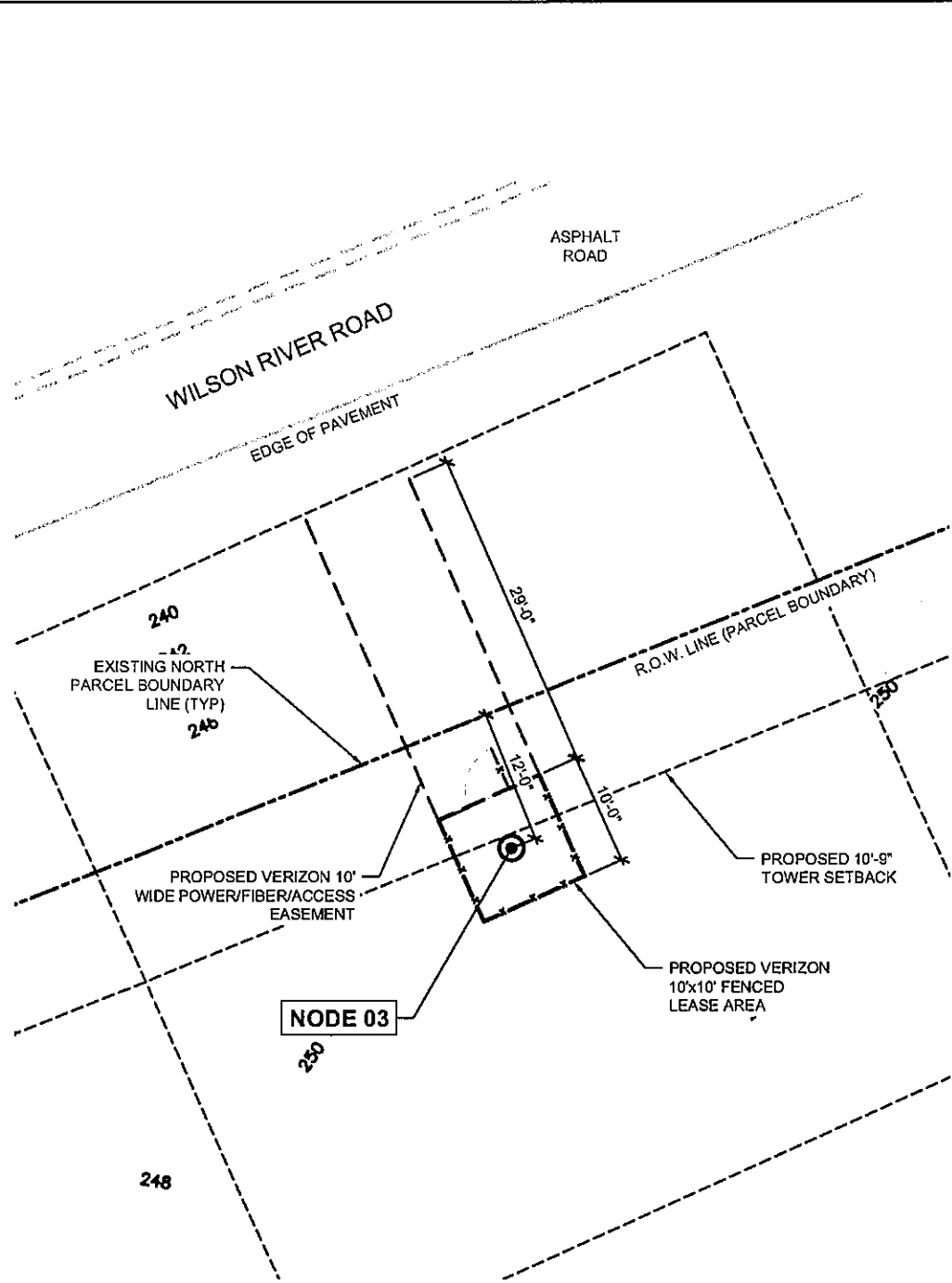
Acom  
CONSULTING, INC

VECTOR  
ENGINEERS

HWY 6  
SMALL CELL NODE 03  
22825 WILSON RIVER HWY  
TILLAMOOK, OR 97141

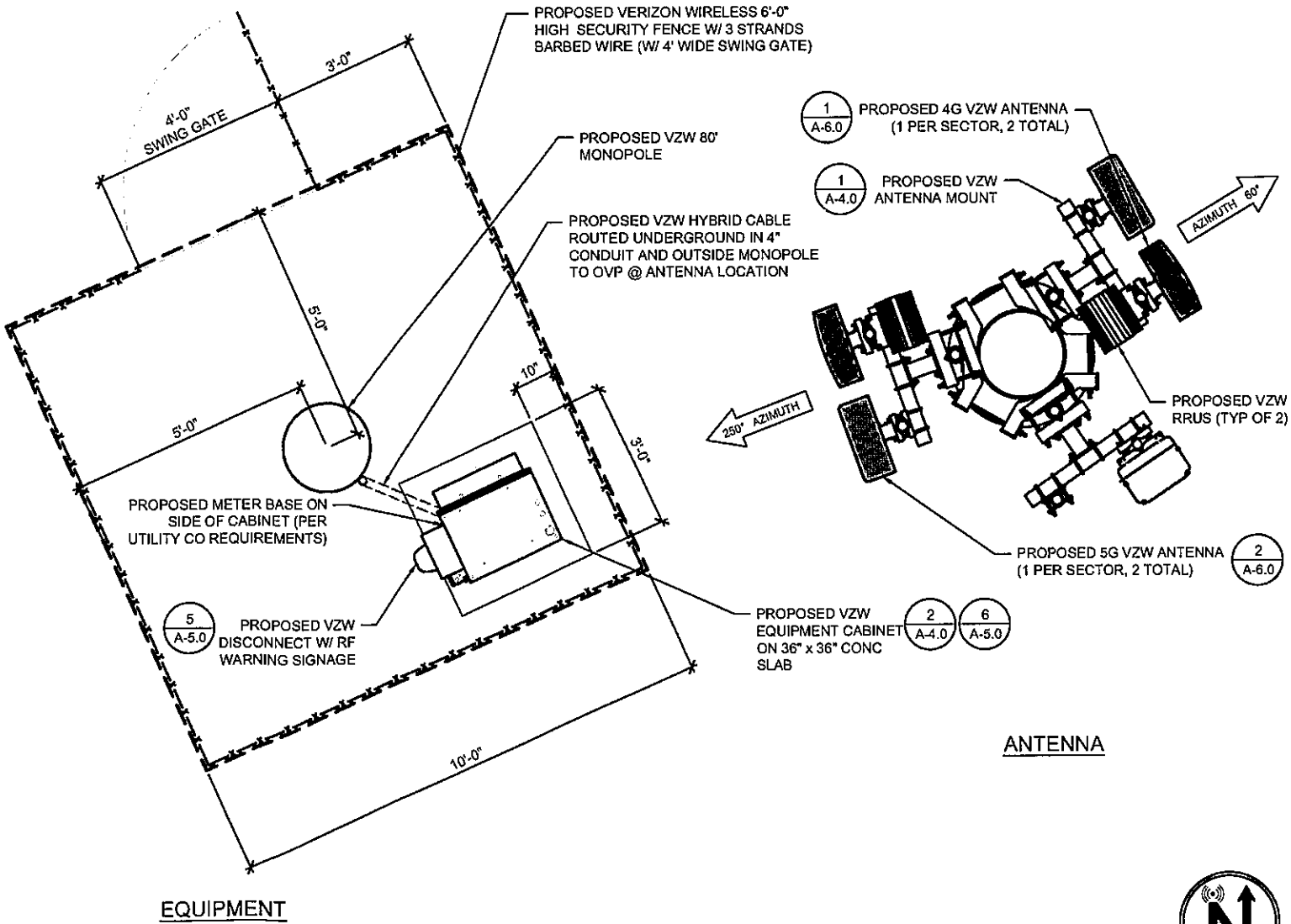
ANTENNA &  
EQUIPMENT PLANS

A-2.0

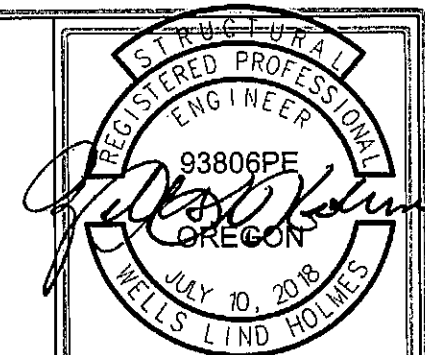
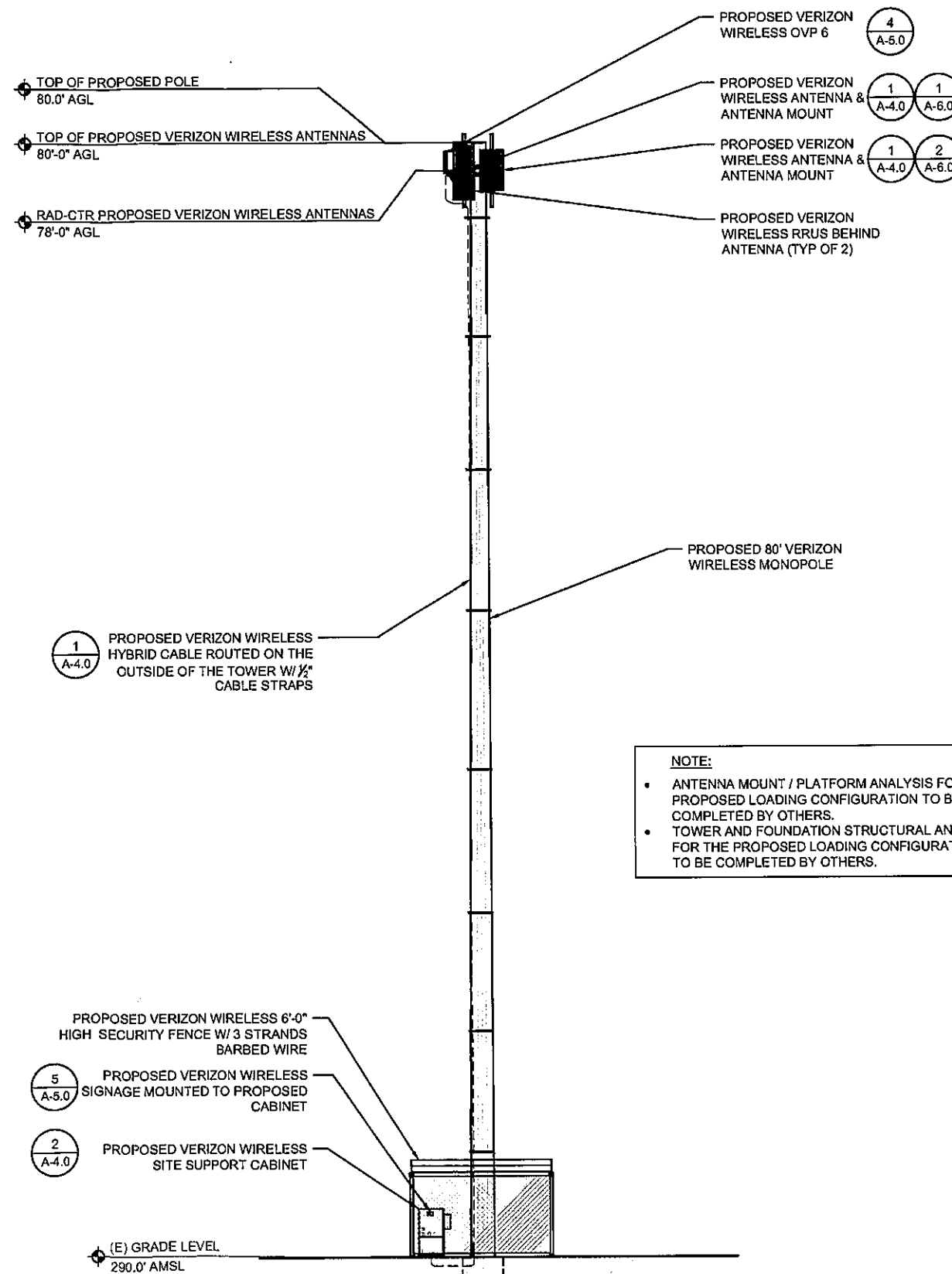


ENLARGED PLAN 3

NOTE:  
ANTENNA/ANCILLARY EQUIPMENT MOUNT  
DESIGN/ANALYSIS TO BE PERFORMED BY OTHERS



PROPOSED ANTENNA / EQUIPMENT PLAN 1



EXPIRES: 6/30/2025

02/11/2025

VSE Project Number: U2350-1235-241

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2	01/27/25	KM	CLIENT COMMENTS
3	02/11/25	KM	CLIENT COMMENTS

CLIENT:



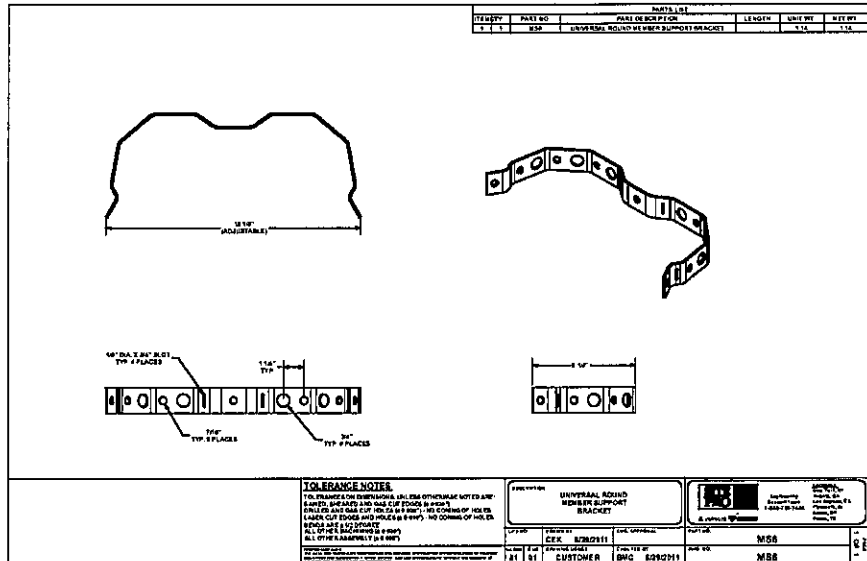
AAE CONSULTANT, SITE ACQUISITION AND PERMITTING:



**HWY 6  
SMALL CELL NODE 03**  
22825 WILSON RIVER HWY  
TILLAMOOK, OR 97141

EXISTING & PROPOSED  
ELEVATIONS

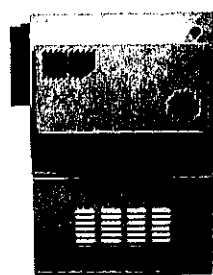
A-3.0



- NOTE:
1. ATTACH TO MONOPOLE WITH 1/2" BANDING PER MANUFACTURER'S RECOMMENDATIONS
  2. PROVIDE SNAP-IN HANGERS TO SUPPORT THE HYBRID CABLE(S)

TOWER - HYBRID SUPPORT BRACKET 1

## Charles Universal Broadband Enclosures (CUBE) RL212 Series Remote Radio Head / Power Support Cabinets



The CUBE-RL212 Series cabinet provides environmental protection for a wide variety of telecom applications, including wireless, fiber transport for cell site backhaul, and other remote outdoor applications where 48 VDC is required. The most common applications for these cabinets are to house power and battery backup for remote radio heads. Commercial AC power is converted to 48 VDC using a third-party rectifier (supports most major manufacturers). The separate battery chamber is designed for up to 100Ah Ni-Cd or VRLA batteries.

**Specifications**

Overall Dimensions	39"H x 26"W x 20"D
Equipment Chamber	24"H x 26"W x 20"D
Rack Space / Width	12RU / 19" EIA Standard
Door Lock	Padlockable, 219-Style Lock
AC Equipment	8 Position Load Center
Battery Chamber	15"H x 26"W x 20"D
Capacity	Supports 1 String 48V (or two 24V) 100Ah Ni-Cd or VRLA
Bonding & Grounding	8 Position, 2-Hole Ground Bar
Cable Entrance	(3) 1.75"/2.5" Knockouts on Right-Hand Side, (1) 1.75"/2.5" and (2) 1.375" Knockouts on Bottom
Thermal Management	24VDC/48VDC 550 or 750 Watt Heat Exchangers
Construction	1/8" Welded Aluminum, Off-White Finish
Mounting	Wall or H-Frame, Pole Mount Kit optional (97-CABPMKIT1), 10" Plinth optional (97-002176-A)

Charles Part #	Standard Mounting	Overall Dimensions (in.)	RU	Equipment Chamber Dimensions (in.)	Battery Chamber Dimensions (in.)	Load Center	Thermal	Integrated Power	Weight Empty (lbs.)	Weight with Cd Battery
CUBE-RL2121AB1	Wall/H-Frame	39x26x20	12	24x26x20	15x26x20	8 Position	500W 48VDC HX	GE SPS 48V (2) 20A Rectifiers	170	372
CUBE-RL2121AE2	Wall/H-Frame	39x26x20	12	24x26x20	15x26x20	6 Pos & Gen	500W 48VDC HX	GE SPS 48V (2) 20A Rectifiers	170	372
CUBE-RL2121AH1	Wall/H-Frame	39x26x20	12	24x26x20	15x26x20	8 Position	500W 48VDC HX	Eltek 48V (2) 40A Rectifiers	165	367
CUBE-RL2121AH3	Wall/H-Frame	39x26x20	12	24x26x20	15x26x20	8 Position	500W 24VDC HX	Eltek 24V (2) 50A Rectifiers	165	367
CUBE-RL2121AH4	Wall/H-Frame	39x26x20	12	24x26x20	15x26x20	8 Position	500W 48VDC HX	Eltek 48V (1) 40A Rectifier	165	367
CUBE-RL2121AH5	Wall/H-Frame	39x26x20	12	24x26x20	15x26x20	8 Position	500W 48VDC HX	None	150	352
CUBE-RL2121AH7	Wall/H-Frame	39x26x20	12	24x26x20	15x26x20	8 Position	500W 24VDC HX	Eltek 24V (2) 40A Rectifiers	165	367
CUBE-RL2121AH8	Wall/H-Frame	39x26x20	12	24x26x20	15x26x20	8 Position	500W 48VDC HX	GE Infinity D 48V, No Rectifiers	160	365
CUBE-RL2121DB1	Wall/H-Frame	39x26x20	12	24x26x20	15x26x20	8 Position	750W 48VDC HX	None	150	352
CUBE-RL2121DB2	Wall/H-Frame	39x26x20	12	24x26x20	15x26x20	8 Position	750W 48VDC HX	GE Infinity D 48V, (2) 50A Rectifiers	165	367
CUBE-RL2121DL1	Wall/H-Frame	39x26x20	12	24x26x20	15x26x20	6 Pos & Gen	750W 48VDC HX	None	150	355
CUBE-RL2121DL2	Wall/H-Frame	39x26x20	12	24x26x20	15x26x20	6 Pos & Gen	750W 48VDC HX	GE Infinity D 48V	160	365

For additional product information, please visit [www.charlesindustries.com](http://www.charlesindustries.com) 09-09030-K15

INNOVATIVE ENCLOSED SOLUTIONS

## EQUIPMENT CABINET SPECIFICATIONS 3

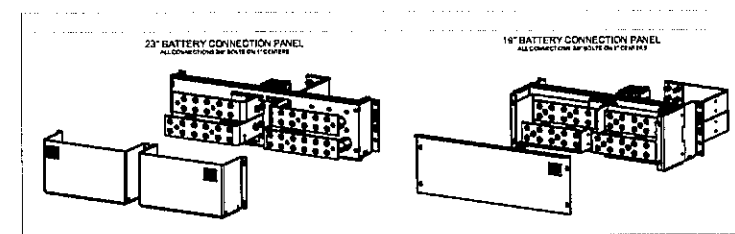
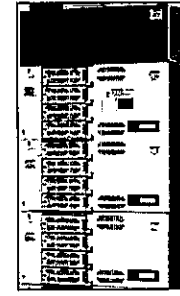
### Ordering Information – Infinity D Power System

#### Dual Voltage, Modular Power System

Infinity-D may be configured as a +24V or +48V single voltage power system. Infinity-D systems may be equipped in 19", 23" or 25" wide 7ft system or as a 'dual voltage' power system that supports rectifiers and converters. The primary voltage is supported by +24V or +48V rectifiers and battery reserve, while secondary voltage is supported by DC/DC converters. The primary voltage capacity is 1,600A at both 24V and 48V. Secondary voltage capacity is up to 300A per system expansion module.

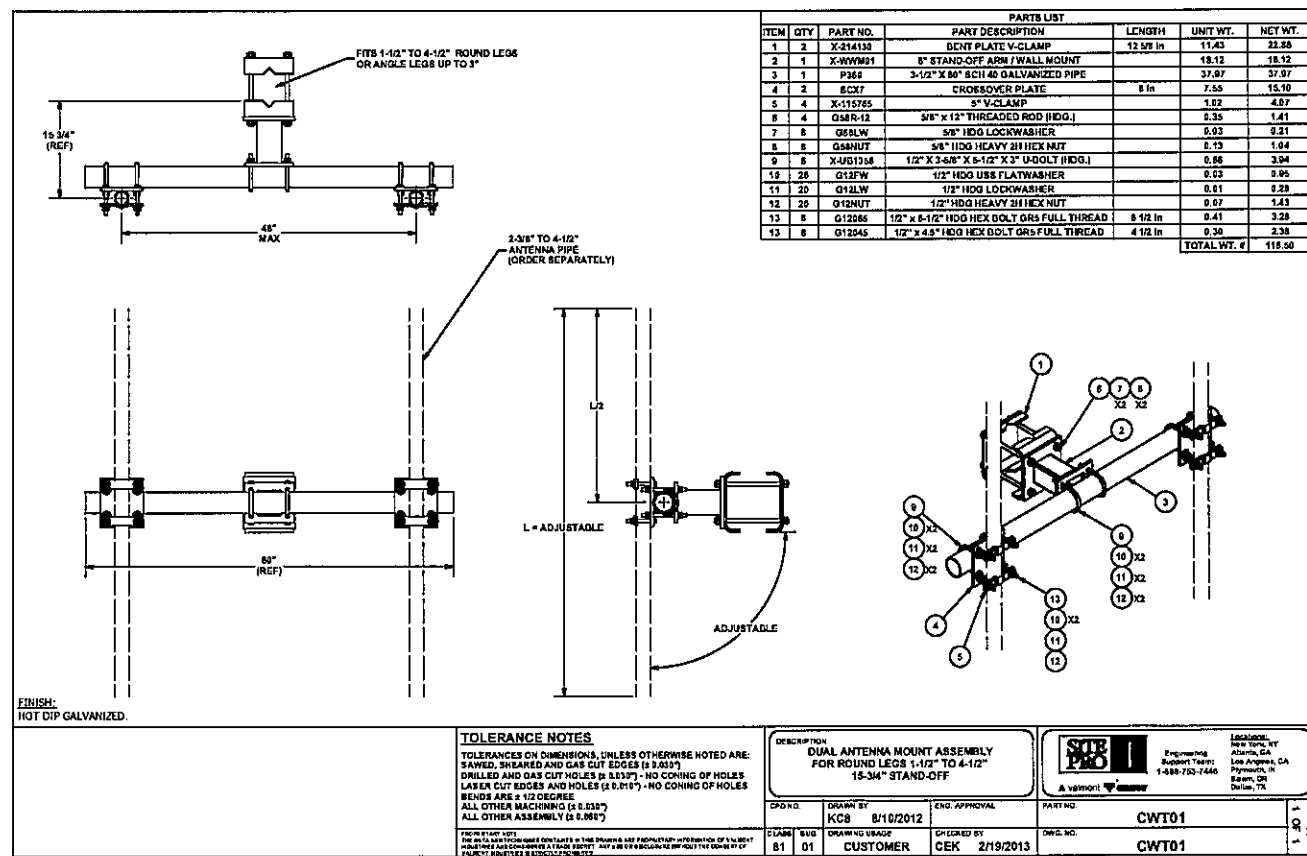
#### Features

- Infinity Rectifiers for +24V and +48V applications.
- Modular architecture for easy growth and low cost
- DC/DC converter support for dual voltage systems
- DC distribution in each system module for efficient scalability
- Temperature hardened harsh environments (-40°C to +75°C)
- Compact size: 8" (203mm) high, 16.5" (429mm) deep
- Adjustable frame mounting for 19", 23" and 26" applications
- Battery panel for battery connection and LVBD option.
- Plug-N-Play Pulsar Plus controller with Web based interface for local and remote (CD-LAN) access.
- Distribution options include 3A-400A bullet style circuit breakers and GMT fuses



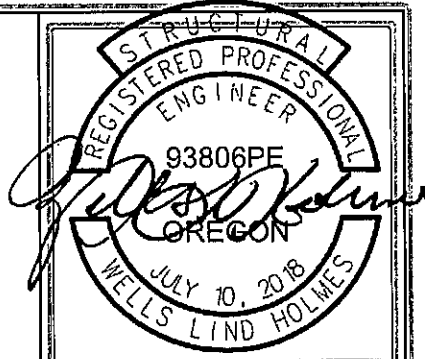
Output	Ordering Code	Model	Frame	Picture
200A	CC100151107 CC100150102	H3007001 G003, G021D, G225 H3007001 G003, G021F, G223	No Frame System width 23" System width 19"	

## GE INFINITY D 49V PDU SPECIFICATIONS 4



<b>TOLERANCE NOTES</b> TOLERANCES ON DIMENSIONS, UNLESS OTHERWISE NOTED ARE: SAWED, SHEARED AND GAS CUT EDGES (± 0.031") DRILLED AND GAS CUT HOLES (± 0.031") - NO CONING OF HOLES LASER CUT EDGES AND HOLES (± 0.015") - NO CONING OF HOLES BENDS ARE ± 1/2 DEGREE ALL OTHER MACHINING (± 0.031") ALL OTHER ASSEMBLY (± 0.063")		<b>DESCRIPTION</b> DUAL ANTENNA MOUNT ASSEMBLY FOR ROUND LEGS 1-1/2" TO 4-1/2" 15-3/4" STAND-OFF	<b>CHARLES INDUSTRIES</b> Engineering Support Team 1-888-725-1446 Dallas, TX
CPO NO. 81	DRAWN BY KCB	ENG. APPROVAL 2/19/2013	PART NO. CWT01
CLASS 01	DRAWING USAGE CUSTOMER	CHECKED BY CEK	CPO NO. CWT01

## ANTENNA MOUNT DETAIL 2



EXPIRES: 6/30/2025  
02/11/2025  
VSE Project Number: U2350-1235-241

NO.	DATE	DRAWN	REVISION
B	08/03/23	KM	SURVEY UPDATE
C	05/31/24	KM	R/D'S UPDATE
D	12/11/24	DG	100% FINAL CD
1	12/18/24	KM	100% FINAL CD
2	01/27/25	KM	CLIENT COMMENTS
3	02/11/25	KM	CLIENT COMMENTS

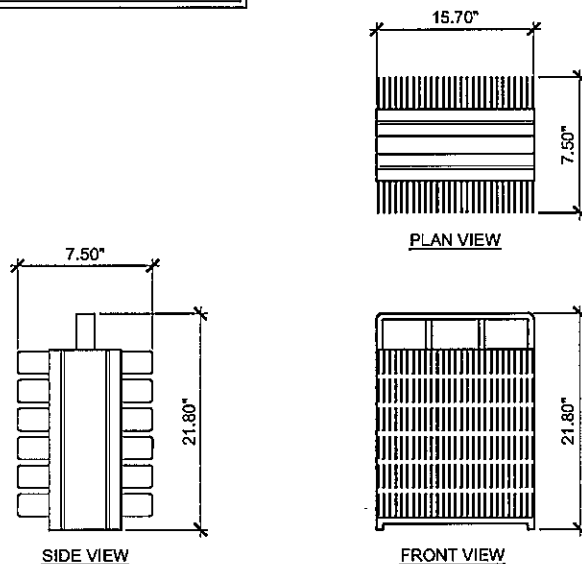


**HWY 6  
SMALL CELL NODE 03**  
22825 WILSON RIVER HWY  
TILLAMOOK, OR 97141

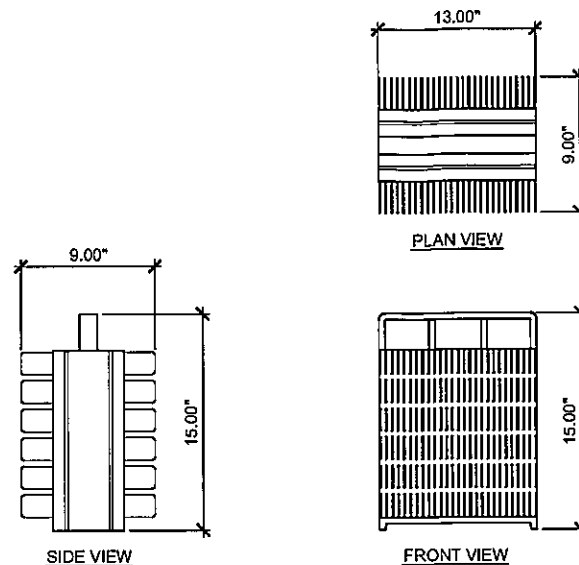
## CONSTRUCTION DETAILS

A-4.0

MANUFACTURER: ERICSSON  
MODEL: RADIO 4890  
HEIGHT: 21.80"  
WIDTH: 15.70"  
DEPTH: 7.50"  
WEIGHT: 84 LBS  
COLOR: OFF-WHITE



MANUFACTURER: ERICSSON  
MODEL: RADIO 4490  
HEIGHT: 15.00"  
WIDTH: 13.00"  
DEPTH: 9.00"  
WEIGHT: 70 LBS  
COLOR: OFF-WHITE



22"x34" SCALE: NOT TO SCALE  
11"x17" SCALE: NOT TO SCALE

4890 RADIO 1

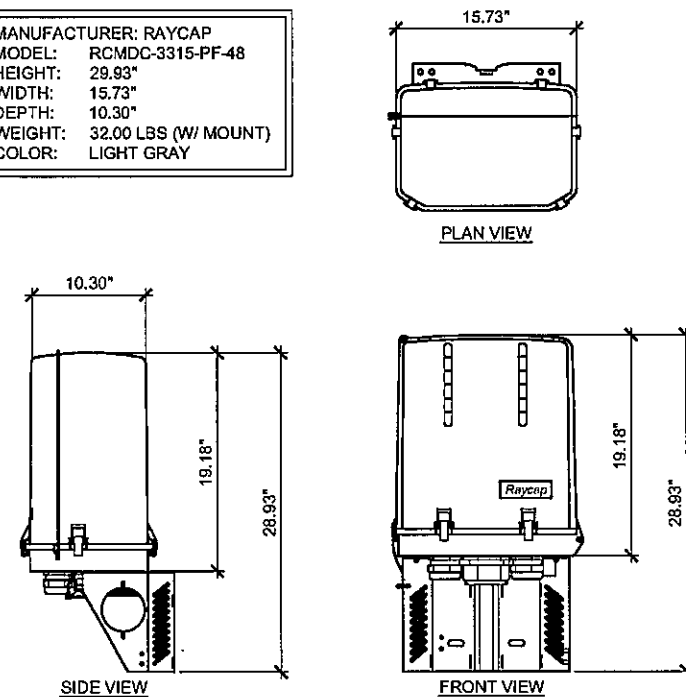
22"x34" SCALE: NOT TO SCALE  
11"x17" SCALE: NOT TO SCALE

4490 RADIO 2

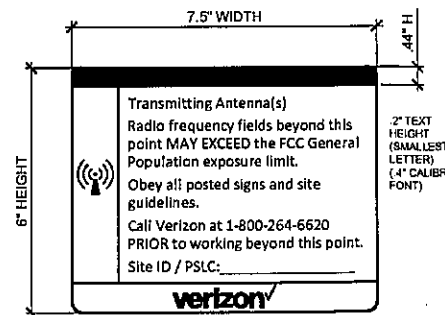
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11"x17" SCALE: NOT TO SCALE

NOT USED 3

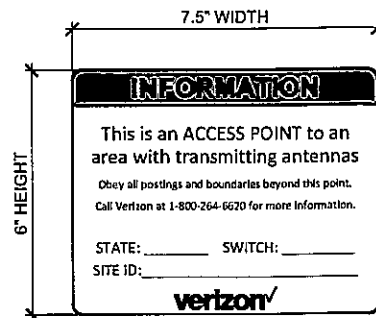
MANUFACTURER: RAYCAP  
MODEL: RCMDC-3315-PF-48  
HEIGHT: 28.93"  
WIDTH: 15.73"  
DEPTH: 10.30"  
WEIGHT: 32.00 LBS (W/ MOUNT)  
COLOR: LIGHT GRAY



THE CONTRACTOR WILL ENSURE ALL SIGNAGE AT SITE  
LOCATION TO MEET WITH FCC STANDARDS AND REQUIREMENTS.

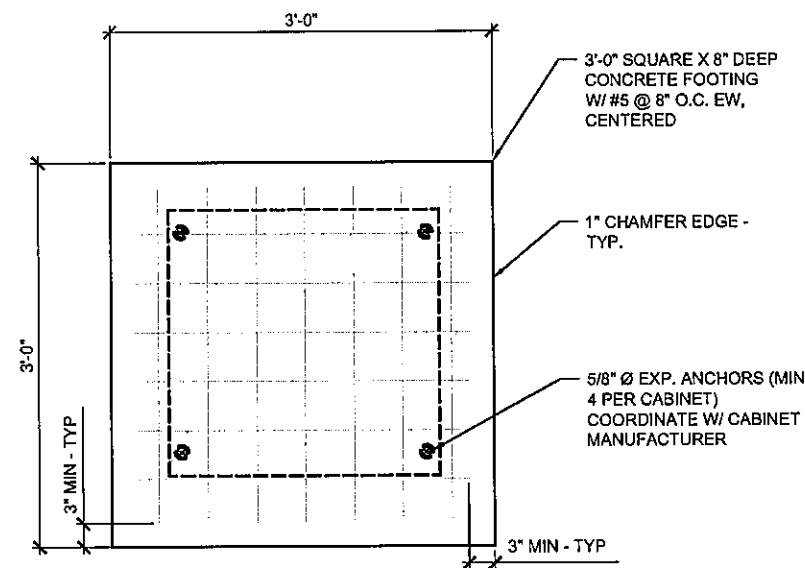


RF NOTICE SIGN  
NOT TO SCALE



RF INFORMATION SIGN  
NOT TO SCALE

SLAB AND ANCHORAGE DESIGN TO  
BE COMPLETED BY OTHERS



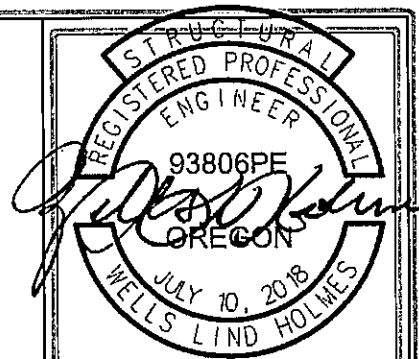
22"x34" SCALE: NOT TO SCALE  
11"x17" SCALE: NOT TO SCALE

RAYCAP OVP 6 4

22"x34" SCALE: NOT TO SCALE  
11"x17" SCALE: NOT TO SCALE

RF SIGNAGE DETAILS 5

CONCRETE PAD DETAIL 6



EXPIRES: 6/30/2025

02/11/2025

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2	01/27/25	KM	CLIENT COMMENTS
3	02/11/25	KM	CLIENT COMMENTS



**HWY 6  
SMALL CELL NODE 03**  
22825 WILSON RIVER HWY  
TILLAMOOK, OR 97141

**CONSTRUCTION  
DETAILS**

**A-5.0**



TECHNICAL SPECIFICATIONS AIR 6419 B41

PRODUCT NUMBER:		KRD 901 212/11
ADVANCED ANTENNA SYSTEM		
Operating frequency band:	3GPP Band 41, 2496 – 2690 MHz (full band)	
Instantaneous bandwidth:	194 MHz	
Output Power	320 W	
EIRP max:	79 dBm	
Antenna configuration	(3x1) x (4x8)	
Architecture:	64T64R connected to an array of dual polarized antenna elements.	
Modulation:	Downlink	Up to 256 QAM.
	Uplink	Up to 64 QAM.
Multi-antenna beamforming functionality*:	Downlink SU-MIMO	
	Downlink MU-MIMO	Up to 16 layers per carrier.
	Uplink SU-MIMO	
	Uplink MU-MIMO	Up to 16 layers per carrier.
	Cell shaping	Pre-defined cell or broadcast beam shapes*; Macro, Hotspot and High-rise.
	Digital down-tilt	Continuously adjustable for macro scenario, fixed for Hotspot and High-rise scenario.
Mechanical specifications*		
Weight:	31 kg (68.5 lbs) excluding installation kit	
Size (H x W x D):	876 x 506 x 203 mm (34.5" x 20.0" x 8.0") (including protrusions)	
	852 x 506 x 160 mm (33.6" x 20.0" x 6.3") (excluding protrusions)	
Operational specifications*		
Wind Load Maximum:	653 N (front), 110 N (side) @ 42 m/s wind speed (pole installed)	
Operating Temperature Range:	- 40° to + 55° C	
Solar radiation:	≤ 1,120 W/m²	
Relative humidity:	2% to 100%	
Absolute humidity:	0.26 to 40 g/m³	
IP Classification:	IP65	
Main Interfaces		
Baseband:	Two eCPRI Interfaces using 25G SFP+ ports with link capacity 25 Gb/s each. One 25 Gb/s eCPRI interface is sufficient for up to 100 MHz carrier bandwidth and 16 layers.	
Power Supply:	-48 V DC (3-wire or 2-wire) via a connector. Maximum fuse rating is 50 A.	
Mounting:	Optional mechanical tilt and swivel installation kit for wall and pole mounting.	
Handling:	Handle for lifting and hoisting.	

\* Additional scenarios, cells or broadcast beam shapes possible with future software releases. Refer detailed description for more details on NR and EIRP for specific scenarios.

Final  
Telefonaktiebolaget L M Ericsson  
SE-164 08 Stockholm, Sweden  
www.ericsson.com

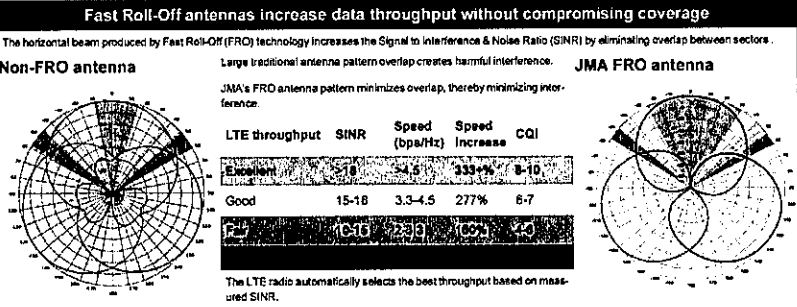
© Ericsson 2022



MX12FRO445-01  
NWAVER™ X-Pol 12-Port Antenna

X-Pol 12-Port 4 ft, 45° Fast Roll Off, with Smart Bias Ts, 698-2690 MHz:  
4 ports 698-894 MHz, 8 ports 1695-2690 MHz

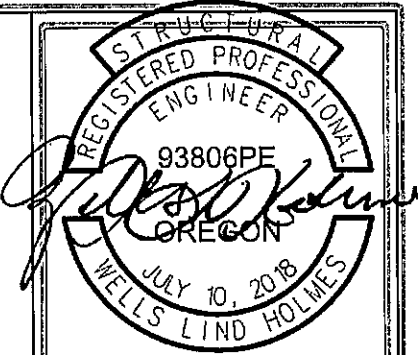
- 12-Port antenna offering the same functionality as 2 Hex Port antennas in a single unit
- Fast Roll Off (FRO™) Azimuth beam patterns improves intra-inter-cell SINR
- Optimized form factor for reduced wind loading
- Fully integrated (iRETs) with independent RET control for low band and mid band
- Excellent passive intermodulation (PIM) performance reduces harmful interference.
- Suitable for 3G, 4G, and 5G interface technologies
- Integrated Smart Bias-Ts reduce leasing costs



Electrical specification (minimum/maximum)	Ports 1, 2, 3, 4				Ports 5, 6, 7, 8, 9, 10, 11, 12			
Frequency bands, MHz	698-806	806-894	1695-1880	1850-1990	1920-2180	2300-2360	2496-2690	
Polarization	± 45°		± 45°					
Average gain over all tilts, dBi	12.7	13.0	15.9	16.2	16.8	16.8	16.6	
Horizontal beamwidth (HBW), degrees <sup>1</sup>	46	43	40	40	36	31	29	
Front-to-back ratio, co-polar power @180°± 30°, dB	>25.0	>25.0	>25.0	>25.0	>25.0	>25.0	>25.0	
X-Pol discrimination (CPR) at boresight, dB	>20.0	>18.0	>19	>18	>18	>18	>18	
Vertical beamwidth (VBW), degrees <sup>1</sup>	31.0	27.0	12.0	11.4	11.0	10.0	9.0	
Electrical downtilt (EDT) range, degrees	2-16		0-9					
First upper side lobe (USLS) suppression, dB <sup>1</sup>	≤-18.0	≤-18.0	≤-18.0	≤-18.0	≤-18.0	≤-18.0	≤-18.0	
Cross-polar isolation, port-to-port, dB <sup>1</sup>	25	25	25	25	25	25	25	
Max VSWR / return loss, dB	1.5:1 / -14.0		1.5:1 / -14.0					
Max passive intermodulation (PIM), 2x20W carrier, dBc	-153		-153					
Max input power per any port, watts	300		250					
Total composite power all ports, watts	1500							

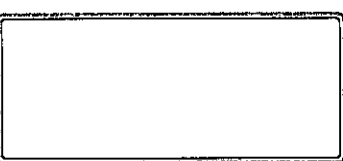
<sup>1</sup> Typical value over frequency and tilt  
©2024 JMA Wireless. All rights reserved. This document contains proprietary information. All products, company names, brands, and logos are trademarks™ or registered® trademarks of their respective holders. All specifications are subject to change without notice. +1 315.431.7100 customerservice@jma wireless.com

01/02/24 V2.0  
Page1



EXPIRES: 6/30/2025  
02/11/2025  
VSE Project Number: U2350-1235-241

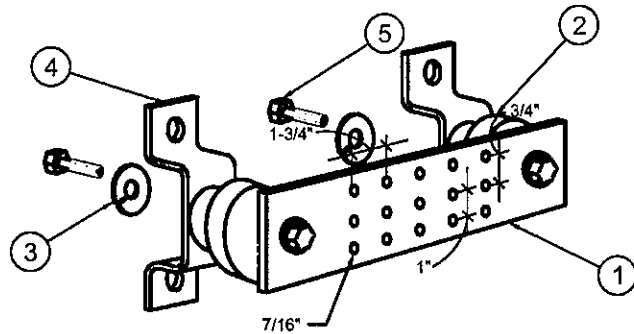
NO.	DATE	DRAWN	REVISION
B	08/03/23	KM	SURVEY UPDATE
C	05/31/24	KM	RFDS UPDATE
D	12/11/24	DO	100% FINAL CD
1	12/18/24	KM	100% FINAL CD
2	01/27/25	KM	CLIENT COMMENTS
3	02/11/25	KM	CLIENT COMMENTS



HWY 6  
SMALL CELL NODE 03  
22825 WILSON RIVER HWY  
TILLAMOOK, OR 97141

ANTENNA DETAILS

A-6.0



1. GALVANIZED STEEL GROUND BUSBAR, 1/4" X 4" X 6".
2. INSULATORS, MEET REQUIREMENTS OF UL 94 VO FOR SELF-EXTINGUISHING MATERIALS.
3. 3/8" LOCKWASHERS.
4. MOUNTING BRACKET.
5. 3/8-11 X 1" HHCS BOLTS.

22"x34" SCALE: NOT TO SCALE  
11"x17" SCALE: NOT TO SCALE

## GROUND BAR DETAIL 1

1. GROUNDING SHALL COMPLY WITH THE APPLICABLE EDITION OF THE NATIONAL ELECTRICAL CODE AS RECOGNIZED BY THE JURISDICTION.
2. ALL GROUNDING METHODS SHALL CONFORM TO THE CURRENT VERIZON STANDARDS.
3. MASTER GROUND BARS (MGB) SHALL BE GALVANIZED STEEL, 4" X 6" MAX.
4. MINIMUM BENDING RADIUS FOR GROUND CONDUCTOR IS 8", WHEN BENDING IS NECESSARY. GROUND CONDUCTORS ARE TO BE AS STRAIGHT AS POSSIBLE.
5. NO SPLICES PERMITTED IN GROUND CONDUCTORS.
6. ALL GROUNDING CONNECTORS TO BE CLEAN AND FREE OF PAINT AT THEIR MATING SURFACES AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. USE PENETROX OR EQUIVALENT ANTIOXIDANT GREASE.
7. ALL GROUND BAR CONNECTIONS ARE TO BE 2 HOLE LUG COMPRESSION TYPE. STACKED CONNECTIONS ARE NOT ACCEPTABLE. BACK TO BACK CONNECTIONS ON OPPOSITE SIDES OF THE GROUND BAR WILL BE PERMITTED.
8. ENSURE ALL MECHANICAL CONNECTORS ARE TORQUED TO THE MANUFACTURER'S SPECIFIED VALUES.
9. IF EXISTING GROUND ROD IS NOT PRESENT, NEW GROUND ROD SHALL MEET AVISTA STANDARDS.
10. MULTIPLE BONDS ON GROUND RODS TO BE SEPARATED BY AT LEAST 6".
11. MAXIMUM RESISTANCE OF THE COMPLETED GROUND SYSTEM SHALL NOT EXCEED A RESISTANCE OF 5 OHMS TO EARTH.
12. GROUND WIRES SHALL NOT BE INSTALLED THROUGH HOLES IN ANY METAL OBJECTS OR SUPPORTS TO PRECLUDE ESTABLISHING A "CHOKE" POINT.
13. FERROUS METAL CLIPS WHICH COMPLETELY SURROUND THE GROUND WIRE SHALL NOT BE USED. METAL CLIPS THAT DO NOT COMPLETELY SURROUND THE GROUND WIRE OR PLASTIC ARE ACCEPTABLE.

22"x34" SCALE: NOT TO SCALE  
11"x17" SCALE: NOT TO SCALE

## GROUNDING NOTES 2

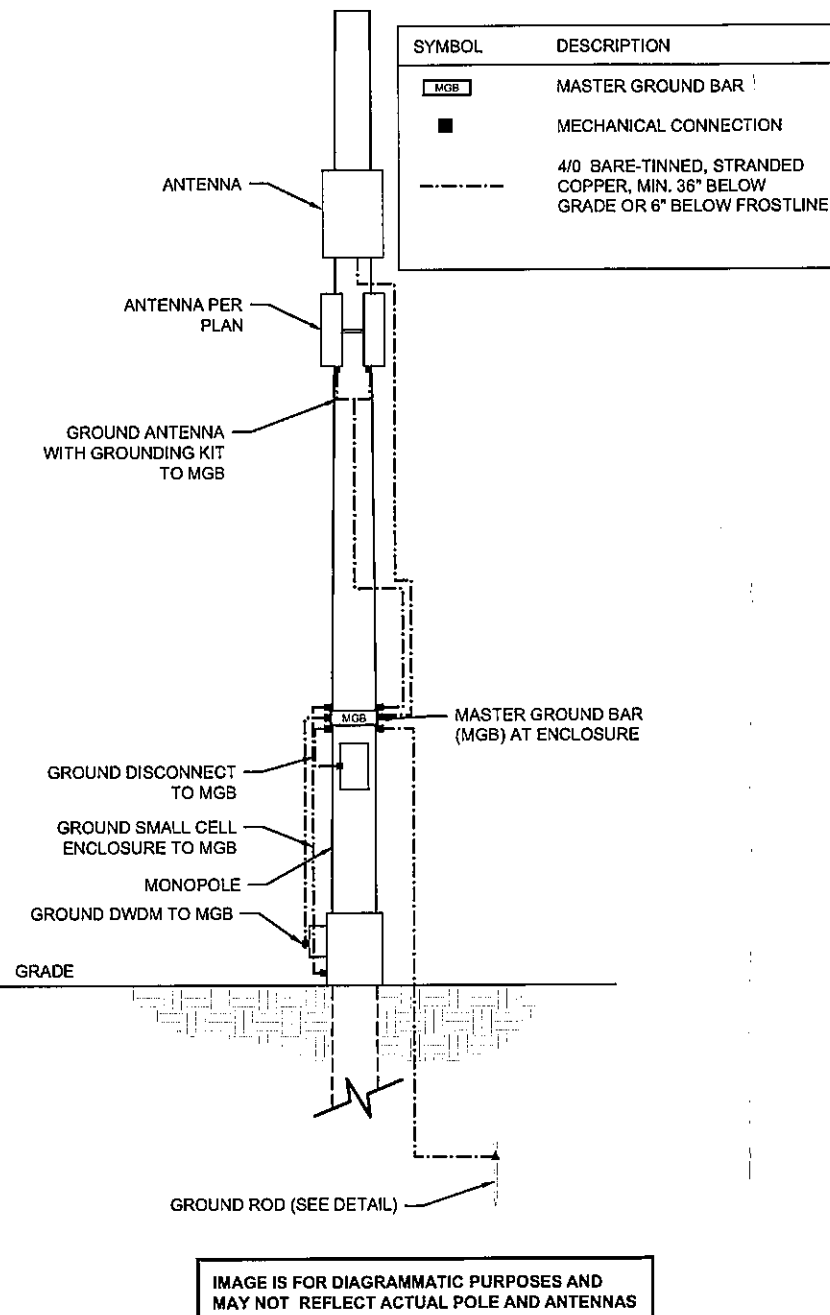
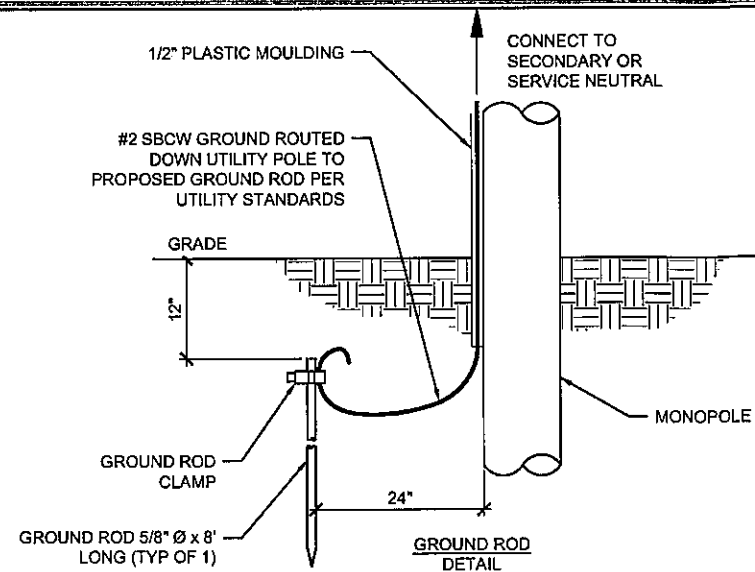


IMAGE IS FOR DIAGRAMMATIC PURPOSES AND  
MAY NOT REFLECT ACTUAL POLE AND ANTENNAS

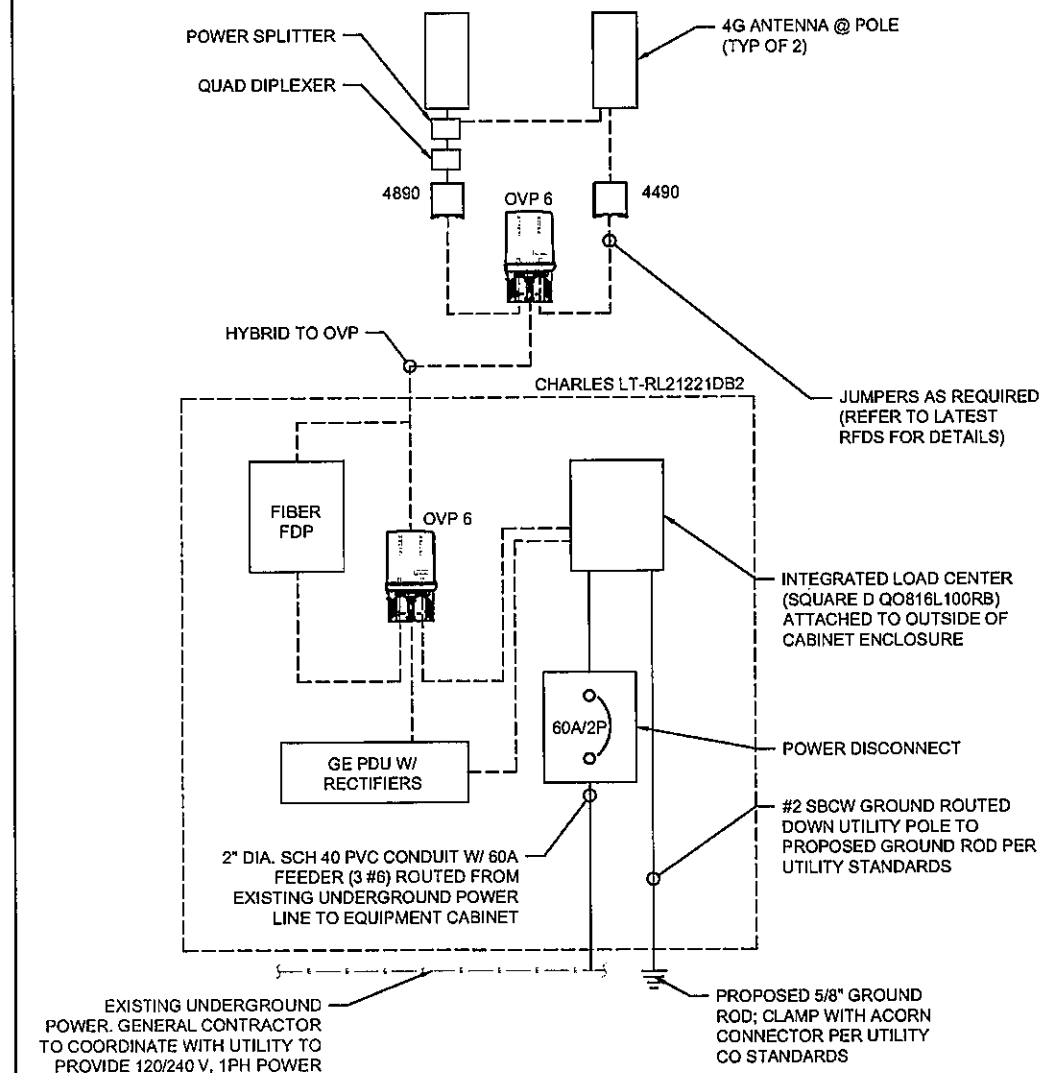
22"x34" SCALE: NOT TO SCALE  
11"x17" SCALE: NOT TO SCALE

## GROUNDING DIAGRAM 3

PANEL NAME		VERIZON		MANUFACTURER		SQ-D	
VOLTS		120/240		MODEL NUMBER		QO816L100RB	
PHASE	1	WIRE	3	ENCLOSURE RATING		NEMA 4X	
BUS RATING		60 AMPS (MAX)		MATERIAL		ALUMINUM	
MAIN BREAKER		60 AMPS		POSITIONS		8 CIRCUITS	
LOAD	POS	BRK	A	<b>NOTES:</b>  PANEL IS LOCATED ON EQUIPMENT CABINET  <			

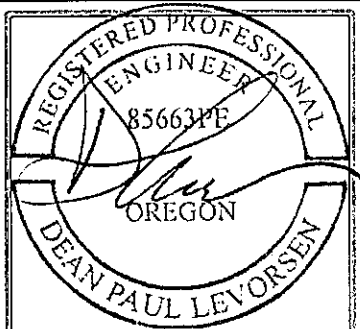
22"x34" SCALE: NOT TO SCALE  
11"x17" SCALE: NOT TO SCALE

## PANEL SCHEDULE 3



22"x34" SCALE: NOT TO SCALE  
11"x17" SCALE: NOT TO SCALE

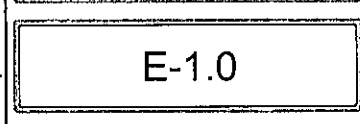
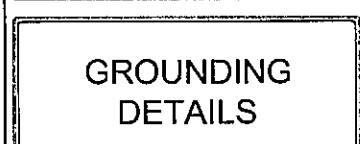
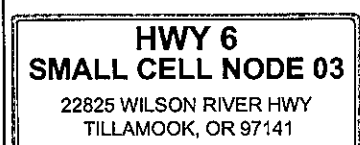
## TYPICAL ONE-LINE DIAGRAM 4

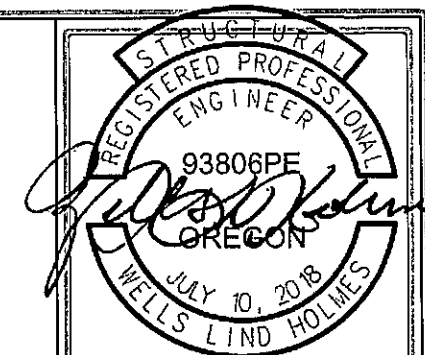


EXPIRES: 12/31/2026

02/11/2025  
VSE Project Number: U2350-1235-241

NO.	DATE	DRAWN	REVISION
B	08/03/23	KM	SURVEY UPDATE
C	05/31/24	KM	RFDS UPDATE
D	12/11/24	DO	100% FINAL CD
1	12/18/24	KM	100% FINAL CD
2	01/27/25	KM	CLIENT COMMENTS
3	02/11/25	KM	CLIENT COMMENTS





**EXPIRES: 6/30/2025**  
02/11/2025  
VSE Project Number: U2350-1235-241

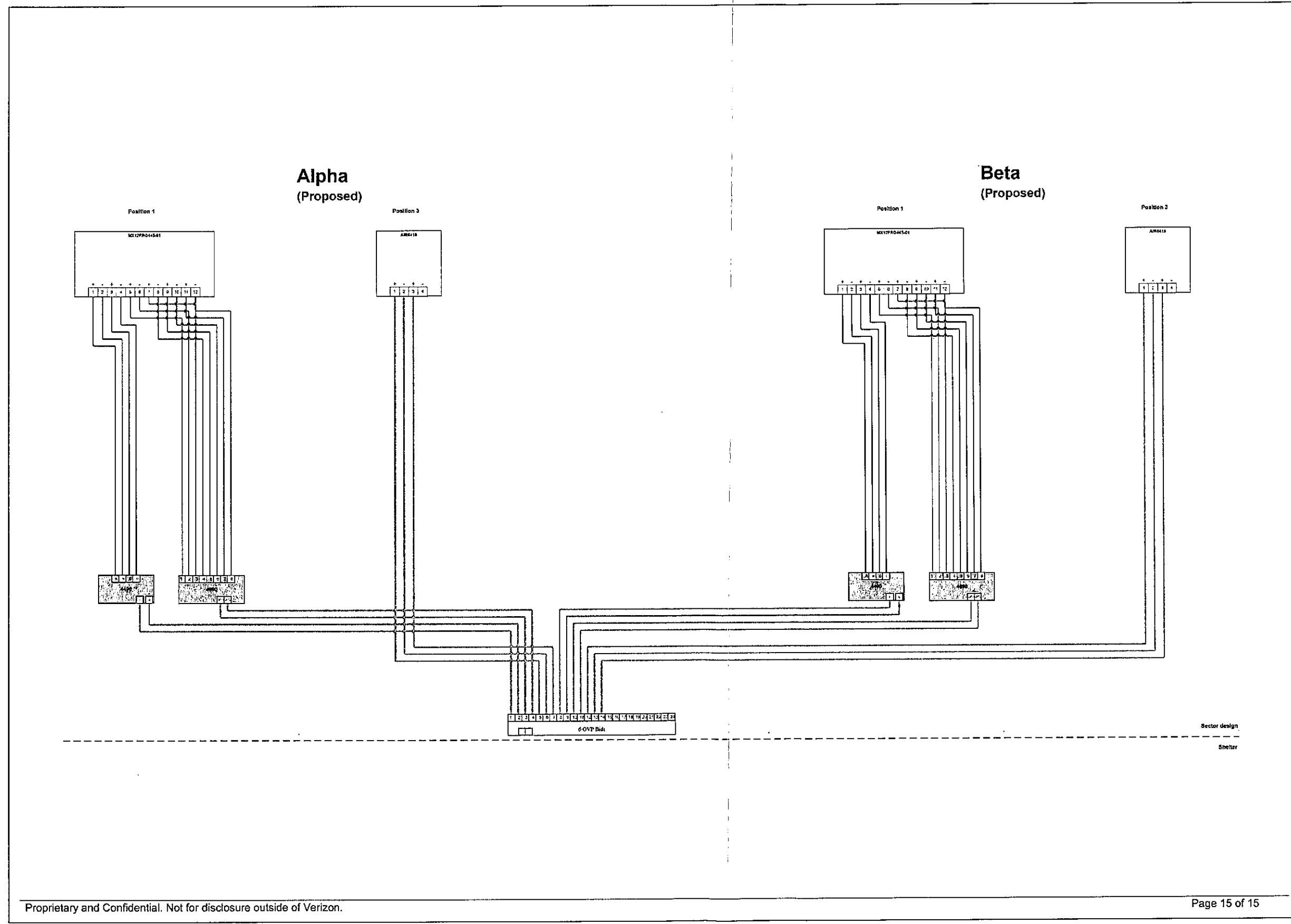
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C	05/31/24	KM	RFDS UPDATE
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1	12/16/24	KM	100% FINAL CD
2	01/27/25	KM	CLIENT COMMENTS
3	02/11/25	KM	CLIENT COMMENTS



**HWY 6  
SMALL CELL NODE 03**  
22825 WILSON RIVER HWY  
TILLAMOOK, OR 97141

**ANTENNA  
CONFIGURATION**

**RF-1**





# EXHIBIT C

## Sarah Absher

---

**From:** Sarah Thompson  
**Sent:** Wednesday, April 23, 2025 11:28 AM  
**To:** Sarah Absher  
**Subject:** FW: EXTERNAL: RE: #851-25-000078-PLNG

#851-25-000078-PLNG

**From:** BRADLEY Robert \* ODFW <Robert.BRADLEY@odfw.oregon.gov>  
**Sent:** Monday, March 31, 2025 3:22 PM  
**To:** Sarah Thompson <sarah.thompson@tillamookcounty.gov>; Sarah Absher <Sarah.Absher@tillamookcounty.gov>  
**Cc:** Melissa Jenck <Melissa.Jenck@tillamookcounty.gov>  
**Subject:** EXTERNAL: RE: #851-25-000078-PLNG

[NOTICE: This message originated outside of Tillamook County -- **DO NOT CLICK** on links or open **attachments** unless you are sure the content is safe.]

ODFW recommends the construction not encroach within or have impacts to the riparian setback of the small stream in the vicinity of this site.

The applicant should consult with ODOT as the proposed site could fall within their highway right of way.

Overhead power lines are present that could impact construction.

Robert

Robert W. Bradley  
District Fish Biologist  
Oregon Department of Fish and Wildlife  
North Coast Watershed District  
4907 Third St  
Tillamook, OR 97141  
503-842-2741 x18613 (w)  
503-842-8385 (fax)

**From:** Sarah Thompson <sarah.thompson@tillamookcounty.gov>  
**Sent:** Monday, March 31, 2025 1:32 PM  
**To:** Sarah Absher <Sarah.Absher@tillamookcounty.gov>  
**Cc:** Melissa Jenck <Melissa.Jenck@tillamookcounty.gov>  
**Subject:** #851-25-000078-PLNG

Good Afternoon,

Please see the link below for the Notice of Application for #851-25-000078-PLNG for a Variance Request.

<https://www.tillamookcounty.gov/commdev/project/851-25-000078-plng>

Thanks,



**Sarah Thompson** (she/her) | Office Specialist 2

**TILLAMOOK COUNTY** | Surveyor Department

1510-B Third Street

Tillamook, OR 97141

Phone (503) 842-3408 x3423

[Sarah.thompson@tillamookcounty.gov](mailto:Sarah.thompson@tillamookcounty.gov)