# Tillamook County

## DEPARTMENT OF COMMUNITY DEVELOPMENT BUILDING, PLANNING & ON-SITE SANITATION SECTIONS



1510 - B Third Street Tillamook, Oregon 97141 www.tillamook.or.us

Building (503) 842-3407 Planning (503) 842-3408 On-Site Sanitation (503) 842-3409 FAX (503) 842-1819 Toll Free 1 (800) 488-8280

Land of Cheese, Trees and Ocean Breeze

# FOREDUNE GRADING PERMIT REQUEST #851-24-000566-PLNG KIWANDA SHORES BEACHFRONT COLLECTIVE, LLC., ET AL

NOTICE TO MORTGAGEE, LIENHOLDER, VENDOR OR SELLER: ORS 215 REQUIRES THAT IF YOU RECEIVE THIS NOTICE, IT MUST BE PROMPTLY FORWARDED TO THE PURCHASER

August 15, 2025

Dear Property Owner:

This is to confirm that the Tillamook County Department of Community Development APPROVED WITH CONDITIONS the above-cited request on August 15, 2025. A copy of the application, along with a map of the request area and the applicable criteria for review are available for inspection on the Tillamook County Department of Community Development website: <a href="https://www.co.tillamook.or.us/commdev/landuseapps">https://www.co.tillamook.or.us/commdev/landuseapps</a> and is also available for inspection at the Department of Community Development office located at 1510-B Third Street, Tillamook, Oregon 97141.

**Appeal of this decision.** This decision may be appealed to the Tillamook County Planning Commission, who will hold a public hearing. Forms and fees must be filed in the office of this Department before **4:00pm on August 27, 2025**. This decision will become final on August 27, 2025, unless an appeal is filed in accordance with Tillamook County Land Use Ordinance Article 10.

Request: Foredune Grading Permit review to grade the existing Foredune within Management

Unit D and E of the Pacific City Foredune Management Area.

**Location:** Located within the Pacific City/Woods Community Growth Boundary, subject properties are

accessed via Ocean Drive, a private road, and are oceanfront properties within the Kiwanda Shores development, all located in Sections 24DA and 24DD of Township 4 South, Range

11 West of the Willamette Meridian, Tillamook County, Oregon.

**Zone:** Section 3.350: Beach and Dune Overlay Zone

**Applicants &** 

Property Owners: Paul Guilick, President, Kiwanda Shores Beachfront Collective, LLC, et al.

APPROVED WITH CONDITIONS: Staff has determined that the submitted application is consistent with the Pacific City Foredune Management Plan, subject to the following Conditions of Approval. All sand grading and redistribution activities shall be carried out in a manner consistent with the applicable management objectives and strategies for the forty (40) properties located in Management Units D & E as prescribed in the Pacific City Foredune Management Plan. This Permit shall be valid for a period of five (5) years from the date of this approval. Conditions of Approval are outlined below:

## **CONDITIONS OF APPROVAL**

- 1. The applicant/property owners shall ensure that posts are in place with markers identifying the acceptable height of the finished grading for the benefit of the contractor(s). Grading shall not result in a Foredune height of less than 4-feet above base flood elevation. A post-elevation certificate shall be submitted to this Department by a registered professional at the conclusion of each Foredune grading project throughout the five-year permit period to maintain a record of grading activities.
- 2. Upon completion of foredune grading under an approved Foredune Grading Permit, final foredune elevations and conditions shall be surveyed by a registered surveyor, showing compliance with permit conditions. At the conclusion of Foredune grading activities, post-grading Foredune profiles performed by a registered surveyor shall be submitted to the Department and the Oregon Department of Parks and Recreation throughout the five-year permit period, demonstrating grading activities are consistent with the Pacific City Foredune Management Plan. Depending upon site conditions prior to grading, before grading profiles may also be required.
- 3. Sand graded from foredune lots shall be relocated either to the beach, to low and narrow dune areas on the site, or to alternative beach and dune areas as specified in an approved Foredune Management Plan and in accordance with any requirements from the State of Oregon Parks and Recreation Department. The removal of sand from the foredune management area (including all of Management Units D & E respectively) is prohibited.
- 4. The vegetation practices outlined in the Pacific City Foredune Management Plan shall be followed. Plantings should be carried out to mimic natural vegetation patterns as much as possible and must occur during the winter cycle (November through April) before and/or after winter storms, when temperatures are between 32 and 60 degrees Fahrenheit and the sand is wet at a depth of 3 inches.
- 5. The applicants/property owners shall implement the dune stabilization, maintenance and monitoring plan that include visual inspections of the Foredune on a quarterly basis and after severe winter storms, as well as observation of repair/replacement of stabilization efforts when needed due to damage by erosion, trampling of vegetation, grading activities and incomplete survival of any initial plantings. The stabilization, maintenance and monitoring plan shall be reviewed by the Department and the State of Oregon Parks and Recreation Department, and written notice shall be submitted to this Department from OPRD confirming that this plan has been accepted as part of the Ocean Shores Permit prior to commencement of Foredune grading activities.
- 6. Prior to commencing any grading activity, the applicants/property owners shall obtain an approved Ocean Shores Permit from the State of Oregon Parks and Recreation Department (OPRD). A copy of the approved permit shall be submitted to the Department prior to commencement of any Foredune grading activity.

- 7. Prior to the commencement of any grading activity, the property owner is responsible for ensuring that the contractor notifies the Department and the State of Oregon Parks and Recreation Department, of the dates grading is going to occur, the equipment to be used, and contact information. It is the property owner's responsibility to ensure that the grading and sand redistribution activities are carried out in a manner that is consistent with these Conditions of Approval and with the management objectives and strategies prescribed for Management Units D & E, as applicable, in the Pacific City Foredune Management Plan.
- 8. In the event a property within Management Unit D or E is sold, or ownership otherwise transferred, the new property owner(s) will be responsible for adhering to these conditions.
- 9. Prior to the commencement of grading activity, the applicant/property owners shall contact the Tillamook County Public Works Department (503-842-3419) should access to the Foredune be necessary by way of County Roads. A copy of written authorization by the Tillamook County Public Works Department shall be submitted to the Tillamook County Department of Community Development prior to commencement of any grading activity.
- 10. This permit expires on August 15, 2030. Noncompliance with the Conditions of Approval may result in a revoked permit and issuance of a citation.

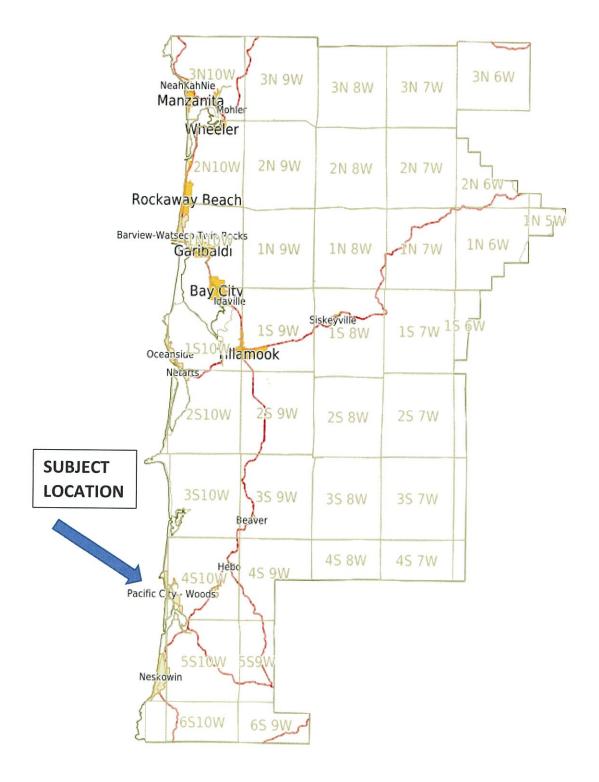
Sincerely,

Tillamook County Department of Community Development

Sarah Absher, CFM, Director

Enc.: Property Identification Maps

# **VICINITY MAP**



#851-24-000566-PLNG: FOREDUNE GRADING PERMIT KIWANDA SHORES BEACHFRONT COLLECTIVE

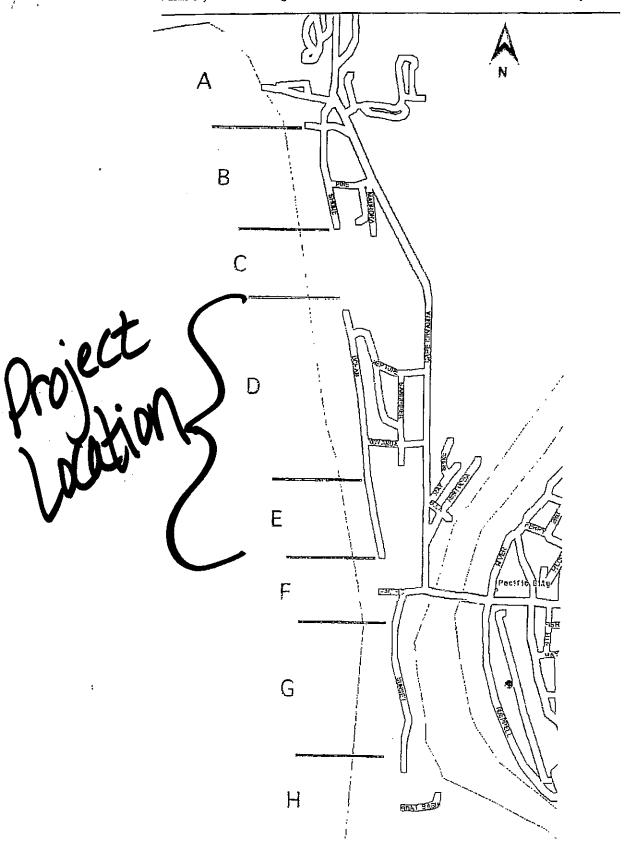


Figure 2. Pacific City Foredune Management Units (see also Appendix A).

NEI/4 SEI/4 SEC.24 T.4S. R.IIW. W.M. TILLAMOOK COUNTY

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSE ONLY

CANCELLED NO. 1002-2600 No. 33900 A3000 A4000 A4000 A4000 A4000 A4000 A5000 A5

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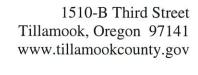
DRIVE

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## **Tillamook County**

## DEPARTMENT OF COMMUNITY DEVELOPMENT

BUILDING, PLANNING & ON-SITE SANITATION SECTIONS



Building (503) 842-3407 Planning (503) 842-3408 On-Site Sanitation (503) 842-3409 FAX (503) 842-1819 Toll Free 1 (800) 488-8280



Land of Cheese, Trees and Ocean Breeze

# FOREDUNE GRADING PERMIT REQUEST #851-24-000566-PLNG KIWANDA SHORES BEACHFRONT COLLECTIVE, LLC., ET AL

## **Approved with Conditions**

August 15, 2025

Prepared by: Sarah Absher, CFM, Director

## I. GENERAL INFORMATION

**Description of Request:** Foredune Grading Permit review to grade the existing Foredune within

Management Unit D and E of the Pacific City Foredune Management Area

(Exhibit B).

Location: Located within the Pacific City/Woods Community Growth Boundary,

subject properties are accessed via Ocean Drive, a private road, and are oceanfront properties within the Kiwanda Shores development, all located in Sections 24DA and 24DD of Township 4 South, Range 11 West of the

Willamette Meridian, Tillamook County, Oregon (Exhibit A).

**Zone:** Section 3.530: Beach and Dune Overlay

**Applicants &** 

Property Owners: Paul Guilick, President, Kiwanda Shores Beachfront Collective, LLC, et al.

**Description of project:** The applicants/property owners are requesting Foredune Grading Permit approval for ongoing foredune grading and property maintenance within a specified area identified as those oceanfront properties west of Ocean Drive located within the First, Third and Fourth Additions to Kiwanda Shores, located within the Unincorporated Community of Pacific City/Woods and Management Units D & E of the Pacific City Foredune Management Plan (Exhibits A & B).

This Foredune Grading permit shall be issued prior to commencement of any foredune grading activity. Foredune Grading permits are valid for a period of five (5) years.

Management Units D & E: Management Units D & E extend from the northern boundary line of the Kiwanda Shores Subdivision to north of the Turnaround (the line between Tax Lots 9200 and 9300 of Section 24DD). The project area lies completely within these management units as depicted on the Pacific City Foredune Management Units Map (Exhibit A).

<u>Pacific City Foredune Management Plan:</u> These segments of shoreline are characterized by a net accumulation of sand over the period of 1967 to 1997, with increased widths of the foredune by as much as 270 feet and in height by as much as 25 feet during this time. These areas have also experienced episodic erosion, with as much as 50 to 150 feet of foredune retreat that has occurred on at least two occasions within this 30-year timeframe.

Foredune morphology along this segment of the shoreline is characterized by a relatively high, narrow, graded profile, with the crest along with segment of shoreline ranging from about 40 to 50 feet NGVD in elevation. The foredune area ranges from open sand on the crest and foreslope to poorly vegetated areas of scattered patches of European Beachgrass, American Dunegrass and Yellow Sand Verbena, and vegetation cover on the backslope. Features are indicative of active wind-driven sediment transport within these management units.

FEMA Flood Insurance Rate Map (FIRM): The Kiwanda Shores Development and mapped Areas of Special Flood Hazard (SFHA) are depicted on FEMA Flood Insurance Rate Map #41057C0855F (Exhibit A). The FIRM confirms areas west of the development are mapped Coastal High Hazard "VE Zone", are located on the ocean shore and development activities are under the jurisdiction of the Oregon Department of Parks and Recreation (OPRD) (Exhibit A). With the exception of the southernmost located lot in the Kiwanda Shores Development, property improvements are east of the VE Zone boundary. It should be noted that a shoreline revetment is also identified on the FEMA FIRM, also located west of the subject properties (Exhibit A).

The applicants/property owners are proposing to grade that portion of the Foredune located in Management Units D & E. This activity is regulated under the provisions of Statewide Planning Goal 18, the Pacific City Foredune Management Plan, and Section 3.530: Beach and Dune Overlay Zone of the Tillamook County Land Use Ordinance.

It should be noted that two permits are required for Foredune grading activities: a Foredune Grading Permit from the local jurisdiction (Tillamook County) and an Ocean Shores Permit from the State of Oregon Parks and Recreation Department (OPRD). Both permits must be approved prior to the commencement of any grading activities.

## II. ANALYSIS OF APPLICABLE ORDINANCE CRITERIA

### A. Land Use Ordinance Section 3.530: Beach and Dune Overlay Zone

- (1) PURPOSE: The purpose of the Beach and Dune Overlay Zone is to establish criteria and performance standards to direct and manage development and other activities in beach and dune areas in a manner that:
  - (a) Conserves, protects and, where appropriate, restores the resources and benefits of coastal beach and dune areas:

- (b) Reduces the risks to life and property from natural and man-induced actions on these inherently dynamic landforms; and
- (c) Ensures that the siting and design of development in beach and dune areas is consistent with Statewide Planning Goals 7 and 18, and the Hazards Element and Beaches and Dunes Element of the Tillamook County Comprehensive Plan.
- (2) AREAS INCLUDED: All beach and dune areas categorized in the table below and as identified in Open File Report O-20-04, Temporal and Spatial Changes in Coastal Morphology, Tillamook County, Oregon by the Oregon Department of Geology and Mineral Industries (DOGAMI) are subject to the provisions of this section. Beach and dune landforms are identified and mapped in this DOGAMI report. The following table provides a crosswalk between the categories mapped in O-20-04 and the categories subject to the provisions of this Section 3.530 and the Beaches and Dunes Element of the Tillamook County Comprehensive Plan.

. . .

- (12) FOREDUNE GRADING: Foredune grading may be performed only as authorized in a foredune management plan adopted and acknowledged in conformance with Statewide Planning Goal 18. As used in this section "foredune grading" means grading that lowers the height of the foredune for view restoration and/or maintenance, or other purposes, and does not include remedial grading authorized by subsection (11) of this section.
  - (a) Foredune grading shall require a Foredune Grading Permit. Application, review, decisions, and appeals for Foredune Grading Permits shall be a Type II procedure in accordance with Article 10.
  - (b) A decision to approve a Foredune Grading Permit shall require findings of compliance with the following requirements:
    - (A) The proposed foredune grading will be performed on a continuous portion of the foredune of not less than 500 feet in length;
    - (B) The application for the Foredune Grading Permit includes the written consent of all owners of property within the continuous portion of the foredune to be graded:
    - (C) The application for the Foredune Grading Permit shall include elevation profiles of existing and proposed foredune conditions prepared by a registered surveyor; and
    - (D) The proposed foredune grading will conform to all the requirements and specifications of the applicable foredune management plan, including requirements for height and width of the graded foredune, stabilization measures, redistribution of graded sand, and maintenance and monitoring.
  - (c) Upon completion of foredune grading under an approved Foredune Grading Permit, final foredune elevations and conditions shall be surveyed by a registered surveyor, showing compliance with permit conditions, and submitted to the Tillamook County Department of Community Development.

Findings: A Foredune Grading Permit application has been submitted in accordance with Subsection (12)(a) and has been processed as a Type II review in accordance with Article 10 of the TCLUO. Public notice in accordance with TCLUO Section 10.070 requires notification of this request to be mailed to landowners within 250 feet of the subject property, to allow at least 14 days for written comments, and requires staff to consider comments received in making the decision.

Notice of the request was mailed to property owners, the Pacific City/Woods Citizen Advisory Committee (CAC) and other agencies on May 5, 2025. One email of public comment was received from the Tillamook County Public Works Department stating they have no concerns about the proposed foredune grading activities (Exhibit E).

Uses within the BD zone are subject to the provisions and standards of the underlying zone and of this Section. Where the provisions of this zone and the underlying zone conflict, the more restrictive provisions shall apply. Other overlay zone and regulatory criteria also may apply to uses within the BD zone: for example, the standards and criteria of the Shoreland Overlay Zone, the Estuary Zones, Estuary Development Standards, Development Requirements for Geologic Hazard Areas, Flood Hazard Overlay Zone, and Requirements for Protection of Water Quality and Streambank Stabilization as set forth in the Tillamook County Land Use Ordinance.

(12)(b)(A) The proposed foredune grading will be performed on a continuous portion of the foredune of not less than 500 feet in length;

**Findings:** A stretch of foredune that consists of a total of 40 lots located within the First, Third and Fourth Additions to Kiwanda Shores is proposed to be graded, redistributing approximately 52,000 cubic yards of sand to the west. Included with the application submittal are 21 cross sections depicting ground profiles with elevations (Exhibit B).

(12)(b)(B) The application for the Foredune Grading Permit includes the written consent of all owners of property within the continuous portion of the foredune to be graded;

Findings: The proposed grading activities will commence across 40 lots for approximately 2,500 linear feet of foredune along the western region of the Kiwanda Shores Development (Exhibits A & B). The submitted information includes copies of signed applications (written consent) of at least one owner per property for all contiguous properties part of the foredune to be graded (Exhibit B). The narrative of the application states that the objectives of the proposed grading activities are consistent with those objectives of Management Units D & E of the Pacific City Foredune Management Plan, specifically to prevent homes from being inundated with sand and to enhance views; to maintain flood/erosion protections; and to maintain or enhance access with the priority objective being to "minimize inundation brought about by excessive accumulation of wind-blown sand and correspondingly maintaining or enhancing ocean views (Exhibit B).

(12)(b)(C) The application for the Foredune Grading Permit shall include elevation profiles of existing and proposed foredune conditions prepared by a registered surveyor; and

**Findings:** The application submitted for this proposal includes 21 cross-sections of dune elevation profiles across the 40 properties, completed by Dallas W. Esplin of Bayside Surveying, a licensed registered surveyor. These profiles depict grading activities with various elevation profiles that confirm grading activities will maintain final elevations at 4-feet above base flood elevation in compliance with Goal 18 policies and FEMA Code of Federal Regulation Requirements and also depicts where sand will be redeposited within these two management units seaward of the foredune crest (Exhibit B).

The narrative of the application states that the objectives of the proposed grading are consistent with those objectives of Management Units D & E of the Pacific City Foredune Management Plan, specifically to prevent homes from being inundated with sand and to enhance views; to maintain flood/erosion protections; and to maintain or enhance access with the priority objective being to "minimize inundation brought about by excessive accumulation of wind-blown sand and correspondingly maintaining or

enhancing ocean views (Exhibit B). As previously mentioned, approximately 52,000 cubic yards of sand will be pushed westward from the western edge of the line of homes along the west side of Ocean Drive to form a man-made dune profile (Exhibit B).

(12)(b)(D) The proposed foredune grading will conform to all the requirements and specifications of the applicable foredune management plan, including requirements for height and width of the graded foredune, stabilization measures, redistribution of graded sand, and maintenance and monitoring.

Findings: The application submittal includes a grading plan, dune stabilization plan and monitoring plan in compliance with the Pacific City Foredune Management specifications outlined for Management Units D & E (Exhibit B). Applicants state that grading and dune stabilization will follow the approved Pacific City Foredune Management Plan, and that efforts to minimize short-term impacts resulting from grading activities will be performed following completion of grading activities scheduled to commence winter 2025 (Exhibit B). Applicants state that damage to any existing beach grass areas will be minimized per the grading plan and that the beach grass areas will be replanted and protected, resulting in stabilization efforts compatible with the natural surroundings in the area (Exhibit B).

Grading: As outlined in the Pacific City Foredune Management Plan, the removal of sand under the management strategy for these management areas is prohibited. Inundating sand shall be disposed of seaward of existing structures and distributed in a manner that shall not impact adjacent dwellings or adversely impact the public beach. Specifically for Management Units D & E, graded sand is to be transferred seaward from high areas behind the Foredune crest to low areas elsewhere along the crest and foreslope. After low areas have been filled, consideration may be given to the transfer of excess sand seaward of the lower foreslope/beachface to allow a combination of wave and wind-driven sediment transport to redistribute it. Because limited vegetative stabilization is also part of the proposed strategy for this management unit, it is anticipated that remedial grading is frequently warranted and should be allowed on a as needed basis.

<u>Vegetative Stabilization:</u> Planting should occur immediately following view grading and should be carried out so as to mimic natural vegetation patterns as much as possible. The plan states that vegetation planted below an elevation of about 16-feet NGVD is best viewed as sacrificial as it may be lost during winter storms and as a result need to be replanted on a regular basis. Specific planting recommendations along the secondary crest, upper foreslope and along the lower foreslope are outlined on Pages 26, 30 and 31, Page 33 and Pages 36 and 37 of the Pacific City Foredune Management Plan (Exhibit C). These recommendations have been incorporated in the Conditions of Approval for this permit.

The plan also states that in all cases, planting should be carried out during the rainy months (November and April) before and/or after winter storms, when temperatures are between 32 and 60 degrees F and the sand is wet at a 3-inch depth. Fertilizing efforts taking place immediately after planting are preferred with ammonium sulfate fertilizer and follow up fertilization again in the subsequent late fall or early spring rainy period.

(12)(c) Upon completion of foredune grading under an approved Foredune Grading Permit, final foredune elevations and conditions shall be surveyed by a registered surveyor, showing compliance with permit conditions, and submitted to the Tillamook County Department of Community Development.

**Findings:** Staff finds this requirement can be satisfied through the Conditions of Approval. Staff also finds that a condition of approval can be made to require a copy of the final foredune elevations and conditions be submitted to the Oregon Department of Parks and Recreation.

III. APPROVED WITH CONDITIONS: Staff has determined that the submitted application is consistent with the Pacific City Foredune Management Plan, subject to the following Conditions of Approval. All sand grading and redistribution activities shall be carried out in a manner consistent with the applicable management objectives and strategies for the forty (40) properties located in Management Units D & E as prescribed in the Pacific City Foredune Management Plan. This Permit shall be valid for a period of five (5) years from the date of this approval. Conditions of Approval are outlined below:

## **CONDITIONS OF APPROVAL**

- 1. The applicant/property owners shall ensure that posts are in place with markers identifying the acceptable height of the finished grading for the benefit of the contractor(s). Grading shall not result in a Foredune height of less than 4-feet above base flood elevation. A post-elevation certificate shall be submitted to this Department by a registered professional at the conclusion of each Foredune grading project throughout the five-year permit period to maintain a record of grading activities.
- 2. Upon completion of foredune grading under an approved Foredune Grading Permit, final foredune elevations and conditions shall be surveyed by a registered surveyor, showing compliance with permit conditions. At the conclusion of Foredune grading activities, post-grading Foredune profiles performed by a registered surveyor shall be submitted to the Department and the Oregon Department of Parks and Recreation throughout the five-year permit period, demonstrating grading activities are consistent with the Pacific City Foredune Management Plan. Depending upon site conditions prior to grading, before grading profiles may also be required.
- 3. Sand graded from foredune lots shall be relocated either to the beach, to low and narrow dune areas on the site, or to alternative beach and dune areas as specified in an approved Foredune Management Plan and in accordance with any requirements from the State of Oregon Parks and Recreation Department. The removal of sand from the foredune management area (including all of Management Units D & E respectively) is prohibited.
- 4. The vegetation practices outlined in the Pacific City Foredune Management Plan shall be followed. Plantings should be carried out to mimic natural vegetation patterns as much as possible and must occur during the winter cycle (November through April) before and/or after winter storms, when temperatures are between 32 and 60 degrees Fahrenheit and the sand is wet at a depth of 3 inches.
- 5. The applicants/property owners shall implement the dune stabilization, maintenance and monitoring plan that include visual inspections of the Foredune on a quarterly basis and after severe winter storms, as well as observation of repair/replacement of stabilization efforts when needed due to damage by erosion, trampling of vegetation, grading activities and incomplete survival of any initial plantings. The stabilization, maintenance and monitoring plan shall be reviewed by the Department and the State of Oregon Parks and Recreation Department, and written notice shall be submitted to this Department from OPRD confirming that this plan has been accepted as part of the Ocean Shores Permit prior to commencement of Foredune grading activities.

- 6. Prior to commencing any grading activity, the applicants/property owners shall obtain an approved Ocean Shores Permit from the State of Oregon Parks and Recreation Department (OPRD). A copy of the approved permit shall be submitted to the Department prior to commencement of any Foredune grading activity.
- 7. Prior to the commencement of any grading activity, the property owner is responsible for ensuring that the contractor notifies the Department and the State of Oregon Parks and Recreation Department, of the dates grading is going to occur, the equipment to be used, and contact information. It is the property owner's responsibility to ensure that the grading and sand redistribution activities are carried out in a manner that is consistent with these Conditions of Approval and with the management objectives and strategies prescribed for Management Units D & E, as applicable, in the Pacific City Foredune Management Plan.
- 8. In the event a property within Management Unit D or E is sold, or ownership otherwise transferred, the new property owner(s) will be responsible for adhering to these conditions.
- 9. Prior to the commencement of grading activity, the applicant/property owners shall contact the Tillamook County Public Works Department (503-842-3419) should access to the Foredune be necessary by way of County Roads. A copy of written authorization by the Tillamook County Public Works Department shall be submitted to the Tillamook County Department of Community Development prior to commencement of any grading activity.
- 10. This permit expires on August 15, 2030. Noncompliance with the Conditions of Approval may result in a revoked permit and issuance of a citation.

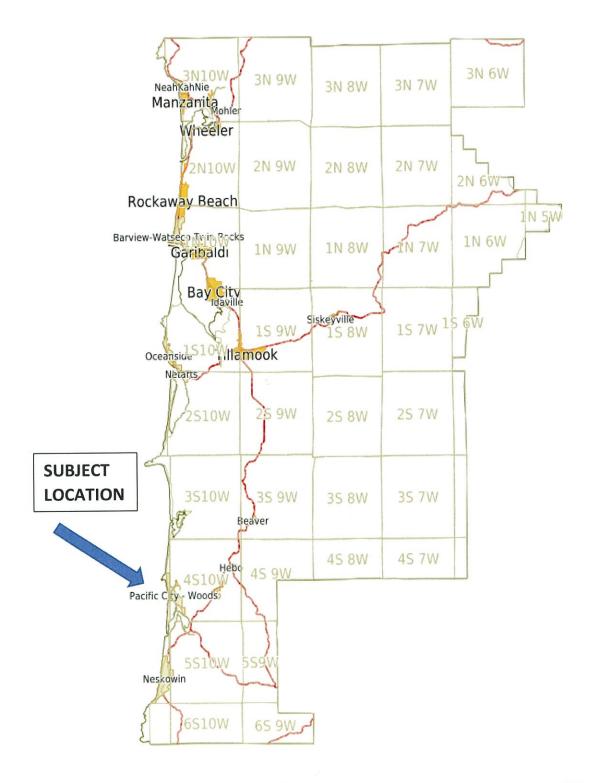
## VI. EXHIBITS

All Exhibits referenced herein are, by this reference, made a part hereof.

- A. Maps: Vicinity, Assessor Maps, Zoning Maps, FEMA FIRM
- **B.** Application Submittal
- C. Pacific City Foredune Management Plan (Units D & E only)
- D. Maintenance & Monitoring Program (Pacific City Foredune Management Plan)
- E. Public Comments

# EXHIBIT A

# **VICINITY MAP**



#851-24-000566-PLNG: FOREDUNE GRADING PERMIT KIWANDA SHORES BEACHFRONT COLLECTIVE

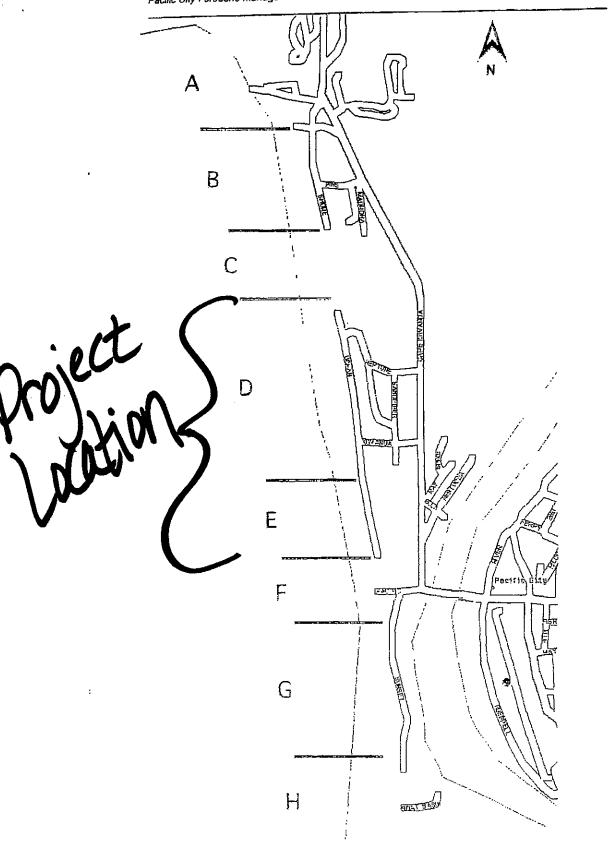


Figure 2. Pacific City Foredune Management Units (see also Appendix A).

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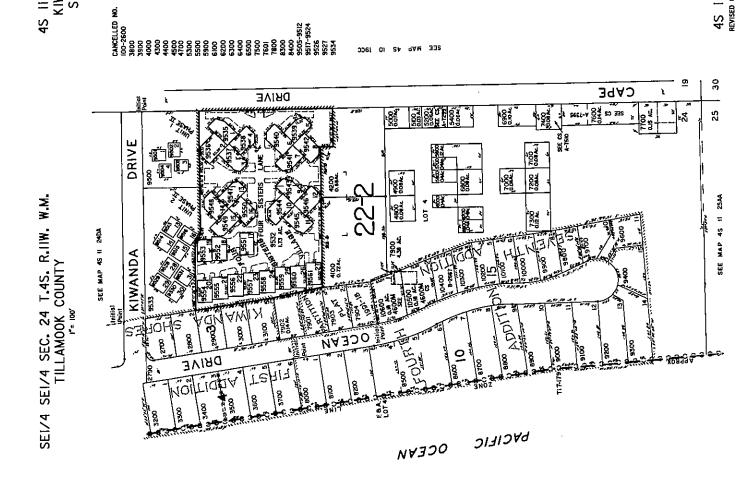
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THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSE ONLY

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SEE MAP 45 II 24AD

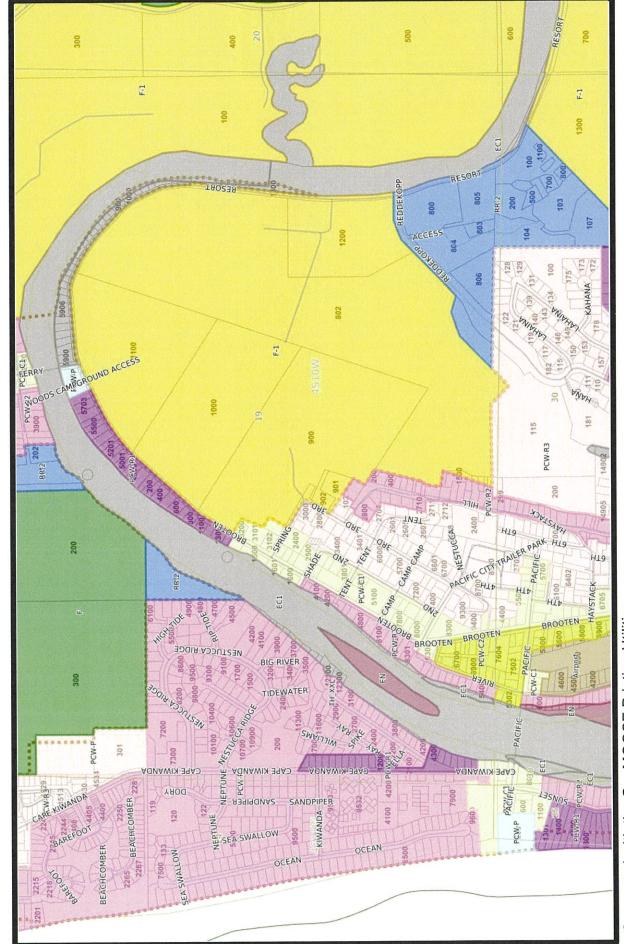
4S II 24DA KIWANDA SHORES REVISED 05/25/04, SA



THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSE ONLY

# Map





Generated with the GeoMOOSE Printing Utilities

# National Flood Hazard Layer FIRMette



ZARD TILL AMOOK COUNT 410196 Zone VE (EL 24.9 Feet) (EL 27.1|Feet) Zone VE (EL 25.2 Feet) 43 Zone VE (EL 23.4 Feet) 3

# Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

Without Base Flood Elevation (BFE)

HAZARD AREAS SPECIAL FLOOD

With BFE or Depth Zone AE, AO, AH, VE, AR Regulatory Floodway

0.2% Annual Chance Flood Hazard, Area of 1% annual chance flood with average depth less than one foot or with drainag areas of less than one square mile Zone Future Conditions 1% Annual

Area with Reduced Flood Risk due to Chance Flood Hazard Zone

Area with Flood Risk due to Levee Zone D Levee. See Notes. Zone X

OTHER AREAS OF FLOOD HAZARD

No screen Area of Minimal Flood Hazard Zone X

Area of Undetermined Flood Hazard Zon

OTHER AREAS

Channel, Culvert, or Storm Sewer GENERAL | ---- Channel, Culvert, or Storm STRUCTURES | 1111111 Levee, Dike, or Floodwall Cross Sections with 1% Annual Chance Water Surface Elevation

Coastal Transect

Base Flood Elevation Line (BFE) me Signm

Limit of Study

Coastal Transect Baseline Jurisdiction Boundary Profile Baseline

Digital Data Available

Hydrographic Feature

OTHER FEATURES

No Digital Data Available

Unmapped

MAP PANELS

The pin displayed on the map is an approximate point selected by the user and does not represe an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap

authoritative NFHL web services provided by FEMA. This map reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or The flood hazard information is derived directly from the was exported on 8/14/2025 at 8:40 PM and does not become superseded by new data over time. This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, FIRM panel number, and FIRM effective date. Map images for legend, scale bar, map creation date, community identifiers, unmapped and unmodernized areas cannot be used for regulatory purposes.

1,500

250

# EXHIBIT B

# ADDITIONAL INFORMATION RECEIVED APRIL 6, 2025

## **Allison Chase**

From: Paul Gulick <paul@gulickacres.com>
Sent: Sunday, April 6, 2025 11:52 AM

To: Allison Chase; 'HERKAMP Kevin A \* OPRD'; Sarah Absher

Cc: 'BEZORE Rhiannon \* DLCD'; 'MANGINI Allison \* OPRD'

Subject: EXTERNAL: Kiwanda Shores Beachfront Collective application

[NOTICE: This message originated outside of Tillamook County -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Hello all,

Thanks for taking the time last week to discuss the various options surrounding our applications for grading permits.

I have talked to Coastway Construction to get an update on where we are at on the beachfront right now. While he confirmed that the natural ebb and flow of our beachfront has resulted in a narrower dune structure this year, he also informed me that multiple homes were still seeing significant inundation, particularly where remedial grading has not yet been done. For example, my home has an estimated 12' of accumulated sand on our beachfront porch area, and others varies from 5' to 15' of accumulation. Once my remedial grading permit has been processed, my home will be able to be graded in a way that provides for reasonable beach access, for me and the public, because the dune structure is narrower than the 40' allowed for in the remedial grading rules. However, homes towards the north of our subject area will result in piled up sand at the extent of the 40' limit, which will limit views and access, as well as result in an unnatural look and profile to the beachfront which I do not believe is in the best interest of the public.

Therefore, unless you can propose a different set of rules for the remedial grading permits that would allow for more uniform grading of the entire subject area, and that would accommodate potential future shifts in dune structure, I would like to proceed with our permit applications as submitted. Please consider our applications complete, and process them according to the current goals, rules and according to the approved Pacific City Dune Management plan for sections D and E that are pertinent to our subject area.

Thank you for your assistance,

Paul Gulick 503-709-3813 cell

# ADDITIONAL INFORMATION RECEIVED FEBRUARY 18, 2025



TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT (Please remit fees with the completed application)

Date Red	ceived:	FEB 1 8 2025	Receipt #:		
PROPER Multiple	TIT OFFITCH CHARACTER OFFICE	Beachfront Collective	e, Ron LaPierre (Applicant) PHONE:909-762-6520		
ADDRES	SS:_4113 S Hay Field Circle0	CITY:Ridgefield	STATE:WAZIP:98642		
1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.					
Town	ship4SRange	11Section_	24Tax Lot_6800Multiple		
	2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR: 34130 Ocean Drive, Pacific City, OR 97135				
3. FORE	EDUNE MANAGEMENT SUBA	REA PLAN:Ma	nagement Units D and E		
4. A FOI	REDUNE GRADING PLAN SHA	ALL CONTAIN THE F	FOLLOWING ELEMENTS:		
<ul> <li>a. Description of the proposed work, including location and timing of activities, and equipment to be used;</li> <li>b. Plan view and elevations of existing conditions in the grading area;</li> <li>c. Plan view and elevations of proposed modifications in the grading area; and</li> <li>d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.</li> </ul>					
I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.					
I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.					
Signature	of Applicant	Date Si	gned		

This permit is Valid Only with Tillamook County Approval Stamp Below

TO BUILDING THE RESERVED				
Date Received: Receipt #:				
PROPERTY OWNER: Anthony Power (Applicant)  Multiple Owners  PHONE:801-597-6797				
ADDRESS:_623 S 9 <sup>th</sup> StreetCITY:LivingstonSTATE:MTZIP:59047				
1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.				
Township 4S Range 11 Section 24da Tax Lot 5800				
2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR: 34150 Ocean Drive, Pacific City, OR 97135				
3. FOREDUNE MANAGEMENT SUBAREA PLAN:Management Units D and E				
4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:				
<ul> <li>a. Description of the proposed work, including location and timing of activities, and equipment to be used;</li> <li>b. Plan view and elevations of existing conditions in the grading area;</li> <li>c. Plan view and elevations of proposed modifications in the grading area; and</li> </ul>				
<ul> <li>Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.</li> </ul>				
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anthony power 18 Jan 2024 Signature of Applicant Date Signed				
This permit is Valid Only with Tillamook County Approval Stamp Below				

Date Received:	Receipt #:
PROPERTY OWNER: Kiwanda Shores Beachfi Multiple Owners	ront Collective, Paul CIUI (Applicant) PHONE:503-709-3813
ADDRESS:_24727 SW Stafford RdCITY:	TualatinSTATE:_ORZIP:_97062
1. LEGAL DESCRIPTION OF PROPERTY WH	ERE GRADING IS TO OCCUR. 451124DA
Township 4S Range 11	Section 24 Tax Lot Multiple
2. ADDRESS OF PROPERTY OWNER WHER	E GRADING IS TO OCCUR: ANTHONY LAWRENCE Sty, OR 97135 805 223-4930
3. FOREDUNE MANAGEMENT SUBAREA PL	AN:Management Units D and E
4. A FOREDUNE GRADING PLAN SHALL CO	NTAIN THE FOLLOWING ELEMENTS:
Description of the proposed work, incl     to be used;	uding location and timing of activities, and equipment
<ul> <li>b. Plan view and elevations of existing c</li> <li>c. Plan view and elevations of proposed</li> </ul>	modifications in the grading area; and effor supervising the project, and for conducting
Plan and subarea plan identified above. Lunde	comply with the Pacific City Foredune Management irstand that failure to comply with the requirements of proval of this permit may result in revocation of this
and accurate. I further certify that I possess the I will obtain necessary Oregon Parks and Recre	plication, to the best of my knowledge, is complete authority to undertake the activities described herein, ation Department permits before I do any of the
activities described herein.	1-17-24
Signature of Applicant	Date Signed
This permit is Valid Only with Till	amook County Approval Stamp Below

Date Received:	Receipt #:
PROPERTY OWNER: Kiwanda Shores Maintenance a President	Association (KSMA), Susan Caney-Peterson,
PHONE:503-830-7455	
ADDRESS:_KSMA, P.O. Box 808, Pacific City, OR, 91	<sup>7</sup> 135
1. LEGAL DESCRIPTION OF PROPERTY WHERE O	PRADING IS TO OCCUR.
Township 4S Range 11 S	ection24Tax Lot 6500
2. ADDRESS OF PROPERTY OWNER WHERE GRA	
3. FOREDUNE MANAGEMENT SUBAREA PLAN:	Management Units D
4. A FOREDUNE GRADING PLAN SHALL CONTAIN	THE FOLLOWING ELEMENTS:
<ul> <li>a. Description of the proposed work, including to be used;</li> <li>b. Plan view and elevations of existing condition.</li> <li>c. Plan view and elevations of proposed modified. Identity of the individual(s) responsible for summittering and maintenance activities.</li> </ul>	ns in the grading area; cations in the grading area; and
I certify that all dune management activities will comply Plan and subarea plan identified above. I understand the Management Plan and the conditions of approval of permit and citation.	that failure to comply with the requirements of
I certify that the information contained in this application and accurate. I further certify that I possess the author I will obtain necessary Oregon Parks and Recreation Described herein.	ity to undertake the activities described herein.
Susan Caney Peterso—	
Susan Caney-Peterson, president, on behalf of KSMA	1.17.24 Date Signed
This permit is Valid Only with Tillamook	County Approval Stamp Below

Date Received: Receipt #:
PROPERTY OWNER: Kiwanda Shores Beachfront Collective, Paul Gulick (Applicant) Multiple Owners  Property Owners  Receipt #:  Saccia Life (Applicant) Phone:503-709-3813
ADDRESS: 24727 SW Stafford Rd. CITY: Tualatin STATE: OR ZIP: 97062
1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.
Township4SRange11Section24_Tax LotMultiple_6400
2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR:
3. FOREDUNE MANAGEMENT SUBAREA PLAN: Management Units D and E
4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:
<ul> <li>a. Description of the proposed work, including location and timing of activities, and equipment to be used; Attached Foredune Grading Plan, Page 2</li> <li>b. Plan view and elevations of existing conditions in the grading area; Pages 3 - 15</li> <li>c. Plan view and elevations of proposed modifications in the grading area; Pages 16 - 25 and d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities. Page 26</li> </ul>
I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.
I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.
Signature of Applicant Date Signed
This permit is Valid Only with Tillamook County Approval Stamp Roley

Date	Received:					Rece	ipt#:	imitimost hilli 1995 t. S. S. Soomman and S. Soom
PRO	PERTY OW	NER:	Todd H	uegli	·	PHO	ONE:	
ADD	RESS:			CITY:_		ST.	ATE:	ZIP:
1. LI	EGAL DESC	RIPTION	OF PROPERT	Y WHER	E GRADING	SISTOO	CCUR.	
T	ownship	_48	Range	11	_Section	24	Tax Lo	
	2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR:							
3. F	3. FOREDUNE MANAGEMENT SUBAREA PLAN: Management Units D and E			ind E				
4. A	FOREDUN	E GRADIN	IG PLAN SHAI	L CONT	AIN THE FO	LLOWING	S ELEMEN	TS:
<ul> <li>a. Description of the proposed work, including location and timing of activities, and equipment to be used;</li> <li>b. Plan view and elevations of existing conditions in the grading area;</li> <li>c. Plan view and elevations of proposed modifications in the grading area; and</li> <li>d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.</li> </ul>								
Plan the M	and subarea	a plan ider Plan and		understa	nd that failui	e to comp	ly with the	e Management requirements of ocation of this
I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.								
700	ld Hug	li	<u> </u>		2/14/2024			
Signa	iture of Pf6p	erty Owne	<b>∍r</b>		Date Sig	ned		
	T	his permit	is Valid Only w	ith Tillam	ook County	Approval	Stamp Belo	W

	17/1		•
	Date Received: 12/24/24	Receipt #:	<del>,, , , , , , , , , , , , , , , , , , ,</del>
		LEISTIN BECKERYPHONE: 503. 81	9.4778
	ADDRESS: 2478 Tipperary	TOITY: WEST LINN STATE: OR ZIP	97068
	1. LEGAL DESCRIPTION OF PROPERT		
	Township 4S Range	11Section24Tax Lot	> · · · · · · · · · · · · · · · · · · ·
Liwan Shore	2. ADDRESS OF PROPERTY OWNER V	WHERE GRADING IS TO OCCUR:	<u>5</u>
	3. FOREDUNE MANAGEMENT SUBARE	EA PLAN: Management Units D and E	
	4. A FOREDUNE GRADING PLAN SHAL	LL CONTAIN THE FOLLOWING ELEMENTS:	
	to be used; b. Plan view and elevations of exis c. Plan view and elevations of prop	posed modifications in the grading area; and onsible for supervising the project, and for conductions	
	Plan and subarea plan identified above. I	es will comply with the Pacific City Foredune Mana understand that failure to comply with the requirer of approval of this permit may result in revocation	ments of
	and accurate. I further certify that I posses	his application, to the best of my knowledge, is corst the authority to undertake the activities describe Recreation Department permits before I do any of	ed herein.
	Signature of Property Owner	Date Signed	
	This permit is Valid Only wi	rith Tillamook County Approval Stamp Below	

Date Received:	Receipt #;
PROPERTY OWNER: Kiwanda Shores Beacl Multiple Owners	hfront Collective, Michael Smith (Applicant) PHONE:503-709-3813
ADDRESS:_24727 SW Stafford RdCITY:_	TualatinSTATE:ORZIP:97062
1. LEGAL DESCRIPTION OF PROPERTY V	VHERE GRADING IS TO OCCUR.
Township 4S Range 11_	Section24Tax Lot6100
ADDRESS OF PROPERTY OWNER WHE    3400 to 34900 Ocean Drive, Pacific	
3. FOREDUNE MANAGEMENT SUBAREA	PLAN:Management Units D and E
4. A FOREDUNE GRADING PLAN SHALL O	ONTAIN THE FOLLOWING ELEMENTS:
to be used;  b. Plan view and elevations of existing  c. Plan view and elevations of propose	ed modifications in the grading area; and ble for supervising the project, and for conducting
Plan and subarea plan identified above. I und	ill comply with the Pacific City Foredune Management lerstand that failure to comply with the requirements of pproval of this permit may result in revocation of this
and accurate. I further certify that I possess the	application, to the best of my knowledge, is complete ne authority to undertake the activities described herein. reation Department permits before I do any of the
Muchas Dooks	1.19.24
Signature of Applicant	Date Signed
This permit is Valid Only with 1	Fillamook County Approval Stamp Below

Date Received:	Receipt #:
PROPERTY OWNER: Kiwanda Shores Beachfror Multiple Owners	nt Collective, Thoreson (Applicant) PHONE:503-709-3813
ADDRESS:_24727 SW Stafford RdCITY:T	ualatinSTATE:_ORZIP:_97062
1. LEGAL DESCRIPTION OF PROPERTY WHE	RE GRADING IS TO OCCUR.
Township 4S Range 11	Section 24 Tax Lot Multiple
2. ADDRESS OF PROPERTY OWNER WHERE34298 Ocean Drive, Pacific City, OR 97	A CONTRACTOR OF THE SAME OF TH
3. FOREDUNE MANAGEMENT SUBAREA PLAN	v: Management Units D and E
4. A FOREDUNE GRADING PLAN SHALL CONT	AIN THE FOLLOWING ELEMENTS:
<ul> <li>a. Description of the proposed work, included equipment to be used; Attached Foredurents.</li> <li>b. Plan view and elevations of existing concept of the individual (s) responsible for monitoring and maintenance activities.</li> </ul>	ne Grading Plan, Page 2 ditions in the grading area; Pages 3-15 nodifications in the grading area; Pages 16-25 and or supervising the project, and for conducting
I certify that all dune management activities will co Plan and subarea plan identified above. I understa the Management Plan and the conditions of appro- permit and citation.	and that failure to comply with the requirements of
I certify that the information contained in this applicand accurate. I further certify that I possess the autimities described herein.  Signature of Applicant	thority to undertake the activities described herein.
3. <u>1</u> .	nook County Approval Stamp Below

Date Received:	Receipt #;
PROPERTY OWNER: TOMMY & Art M	ills Debby Pornonsh 503 246 49
ADDRESS: 7307 SW 44 AVE CIT	
1. LEGAL DESCRIPTION OF PROPERTY WHI	ERE GRADING IS TO OCCUR.
Township 4S Range 11	Section 24 Tax Lot
2. ADDRESS OF PROPERTY OWNER WHERE 34300 Ocean Drive	EGRADING IS TO OCCUR,
	AN:Management Units D and E
4. A FOREDUNE GRADING PLAN SHALL COM	TAIN THE FOLLOWING ELEMENTS:
to be used;  b. Plan view and elevations of existing co c. Plan view and elevations of proposed r	modifications in the grading area; and for conducting
Plan and subarea plan identified above. I unders	comply with the Pacific City Foredune Management stand that failure to comply with the requirements of oval of this permit may result in revocation of this
and accurate. I further certify that I possess the a will obtain necessary Oregon Parks and Recrea	lication, to the best of my knowledge, is complete authority to undertake the activities described herein. Ition Department permits before I do any of the
Signature of Property Owner	Date Signed
This permit is Valid Only with Tilla	imook County Approval Stamp Below

THE AMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT (Please remit fees with the completed application)

Date Received.	Receipt #
PROPERTY OWNER Kiwanda Shores Beachfro Multiple Owners	ont Collective, Lloyd Hodge (Applicant) PHONE:503-709-3613
ADDRESS:_24727 SW Stafford RdCITY:1	ualatínSTATE:_ORZIP:97062
1 LEGAL DESCRIPTION OF PROPERTY WHE	The state of the s
Township \$\overline{8} 4S Range 11	Section24Tax Lot_A_Multiple
2 ADDRESS OF PROPERTY OWNER WHERE <u>34310</u> 3400 to 34900 Ocean Drive, Pacific C	GRADING IS TO OCCUR-
3. FOREDUNE MANAGEMENT SUBAREA PLA	N:Management Units D and E
4. A FOREDUNE GRADING PLAN SHALL CON	TAIN THE FOLLOWING ELEMENTS:
<ul> <li>a. Description of the proposed work, inclued equipment to be used; Attached Foredist.</li> <li>b. Plan view and elevations of existing concept of the proposed of the individual(s) responsible monitoring and maintenance activities.</li> </ul>	une Grading Plan, Page 2 inditions in the grading area; Pages 3 - 15 nodifications in the grading area; Pages 16 - 25 and for supervising the project, and for conducting
certify that all dune management activities will contain and subarea plan identified above. I understate Management Plan and the conditions of appropermit and citation.	omply with the Pacific City Foredune Management land that failure to comply with the requirements of oval of this permit may result in revocation of this
certify that the information contained in this appli and accurate. I further certify that I possess the a will obtain necessary Oregon Parks and Recreat activities described herein	uthority to undertake the activities described herein.
Hoften	1-17-24
Signature of Applicant	Date Signed

This permit is Valid Only with Tillamook County Approval Stamp Below

TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT (Please remit fees with the completed application)

Date Received:	Receipt #:
PROPERTY OWNER: Daniel G- Keller	PHONE SO3 7-65 0397
ADDRESS: 1900 Tour Kins St CITY: 1	
1. LEGAL DESCRIPTION OF PROPERTY WHERE	GRADING IS TO OCCUR.
Township 4S Range 11	Section 24 Tax Lot & Str
2. ADDRESS OF PROPERTY OWNER WHERE GE 34340 Coean Drive, Pacific	RADING IS TO OCCUR:
3. FOREDUNE MANAGEMENT SUBAREA PLAN:_	•
4. A FOREDUNE GRADING PLAN SHALL CONTAI	N THE FOLLOWING ELEMENTS:
<ul> <li>a. Description of the proposed work, including to be used;</li> <li>b. Plan view and elevations of existing condition.</li> <li>c. Plan view and elevations of proposed modified.</li> <li>d. Identity of the individual(s) responsible for a monitoring and maintenance activities.</li> </ul>	ifications in the grading area; and
I certify that all dune management activities will comp Plan and subarea plan identified above. I understand the Management Plan and the conditions of approval permit and citation.	that failure to comply with the requirements of
I certify that the information contained in this application and accurate. I further certify that I possess the author will obtain necessary Oregon Parks and Recreation activities described herein.	ority to undertake the activities described herein.  Department permits before I do any of the
Nance Co Kollin Signature of Property Owner	Feb 5 2024 Date Signed
· · · · · · · · · · · · · · · · · · ·	The state of the s

This permit is Valid Only with Tillamook County Approval Stamp Below

Date Received:	Receipt #:
PROPERTY OWNER: Jay and Caroline Jaffee	PHONE:503-914-7732
ADDRESS: 17350 SW 106 <sup>th</sup> Ct. Tualatin, OR 97062 1. LEGAL DESCRIPTION OF PROPERTY WHERE GR	ADING IS TO OCCUR.
LOT:5 BLK:8 SEC/TWN/RNG/MER:SEC 24 TWN 045 RNG 11W SUB NO: 5 MAP REP:451124DA02200 2. ADDRESS OF PROPERTY OWNER WHERE GRAD	
34370 Ocean Dr, Pacific City, OR 97135-810	Bulling and the state of the st
3. FOREDUNE MANAGEMENT	
4. A FOREDUNE GRADING PLAN SHALL CONTAIN T	HE FOLLOWING ELEMENTS:
<ul> <li>a. Description of the proposed work, including locations to be used;</li> <li>b. Plan view and elevations of existing conditions</li> <li>c. Plan view and elevations of proposed modifications</li> <li>d. Identity of the individual(s) responsible for supmonitoring and maintenance activities.</li> </ul>	in the grading area; tions in the grading area; and
I certify that all dune management activities will comply we Plan and subarea plan identified above. I understand the the Management Plan and the conditions of approval of the permit and citation.	at failure to comply with the requirements of
I certify that the information contained in this application, and accurate. I further certify that I possess the authority I will obtain the necessary Oregon Parks and Recreation activities described herein.	to undertake the activities described herein.
	1-19-24
Signature of Applicant Da	ate Signed
This permit is Valid Only with Tillamook C	County Approval Stamp Below

Date Received		Receipt #:	
PROPERTY O	NNER: Kiwanda Shores Beach	hfront Collective, P <del>aul Gulick</del> (Applicant) PHONE:503-709-3813_	
ADDRESS:_24	727 SW Stafford RdCITY:_	TualatinSTATE:ORZIP:97062	
		HERE GRADING IS TO OCCUR.	
Township	_4SRange11	7000 Section24Tax LotMultiple	
	OF PROPERTY OWNER WHE	RE GRADING IS TO OCCUR: City, OR 97135	
3. FOREDUNE	MANAGEMENT SUBAREA P	PLAN:Management Units D and E	
4. A FOREDU	NE GRADING PLAN SHALL CO	ONTAIN THE FOLLOWING ELEMENTS:	
to be b. Plan c. Plan d. Identi	used; view and elevations of existing view and elevations of propose	cluding location and timing of activities, and equip conditions in the grading area; ed modifications in the grading area; and ble for supervising the project, and for conducting es.	ment
Plan and subare	ea plan identified above. I undent of Plan and the conditions of ap	Il comply with the Pacific City Foredune Managemerstand that failure to comply with the requirement opposed of this permit may result in revocation of this	s of
and accurate. I	further certify that I possess the essary Oregon Parks and Recre	pplication, to the best of my knowledge, is complet be authority to undertake the activities described he reation Department permits before I do any of the	e erein.
ami Gresliam Signerule of Ap	De 101-	1/16/2024 Date Signed	
		*	
	This permit is valid Only With 11	illamook County Approval Stamp Below	

Date Received:	Receipt #:
PROPERTY OWNER: Juliette Douglas	PHONE: <u>801-414-4906</u>
ADDRESS: 34400 Ocean Drive CITY: Pac	ific CitySTATE: ORZIP: 97315
1. LEGAL DESCRIPTION OF PROPERTY WHERE	GRADING IS TO OCCUR.
Township4SRange11	Section24Tax Lot2400
2. ADDRESS OF PROPERTY OWNER WHERE GF 34400 Ocean Drive, Pacific City, OR 97135	RADING IS TO OCCUR:
<ol><li>FOREDUNE MANAGEMENT SUBAREA PLAN:</li></ol>	Management Units D and E
4. A FOREDUNE GRADING PLAN SHALL CONTAI	N THE FOLLOWING ELEMENTS:
<ul> <li>a. Description of the proposed work, including to be used;</li> <li>b. Plan view and elevations of existing condition.</li> <li>c. Plan view and elevations of proposed modition.</li> <li>d. Identity of the individual(s) responsible for second to the individual.</li> </ul>	ifications in the grading area; and
monitoring and maintenance activities.	supervising the project, and for conducting
I certify that all dune management activities will comp Plan and subarea plan identified above. I understand the Management Plan and the conditions of approval permit and citation.	that failure to comply with the requirements of
I certify that the information contained in this application and accurate. I further certify that I possess the author will obtain necessary Oregon Parks and Recreation activities described herein.	ority to undertake the activities described herein.
iulielle Douglas	12/9/2024
Signature of Property Owner	Date Signed
This permit is Valid Only with Tillamoo	ok County Approval Stamp Below

TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT (Please remit fees with the completed application)

Date Received: <u>12/11/2024</u>	ŀ	Receipt#:		
PROPERTY OWNER: Nathan and Charmaigne	Jacobsen	_PHONE: 971.40	9.0986	
ADDRESS: 4644 N Eyrie WayCITY: B	oise	_STATE:ID	_ZIP: <u>83703</u>	
1. LEGAL DESCRIPTION OF PROPERTY WHERE	GRADING IS T	O OCCUR.		
Township4SRange11	Section24	DATax Lot_02	2500	
<ol> <li>ADDRESS OF PROPERTY OWNER WHERE GR Ocean Drive Lot 2500, Pacific City, OR 9713</li> </ol>		OCCUR:		
3. FOREDUNE MANAGEMENT SUBAREA PLAN:_	Manage	ement Units D and	E	
4. A FOREDUNE GRADING PLAN SHALL CONTAI	IN THE FOLLO	VING ELEMENTS	i:	
<ul> <li>a. Description of the proposed work, including location and timing of activities, and equipment to be used;</li> <li>b. Plan view and elevations of existing conditions in the grading area;</li> <li>c. Plan view and elevations of proposed modifications in the grading area; and</li> <li>d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.</li> </ul>				
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I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.				
North Jh Carmen Jacobsen	12/12/2024			
Signature of Property Owner	Date Signed			

This permit is Valid Only with Tillamook County Approval Stamp Below

4	eived:					Re	celpt#:	and the second	
PROPER'		ER: Kiwa	nda Shore	s Beachf	ont Collectiv		Hck (Ap)	plicant)	
ADDRES:	5:_24727	SW Star	Mord Rd	CITY:	Tualatin	STATE:	OR_	_ZIP:_	97062
1, LEGA	L DESCF	RIPTION	OF PROP	ERTY WH	IERE GRAD	ING IS TO	OCCUR	ŗ	
Towne	hip4		_Range_	11	Section	124	Tax Lo	<u> </u>	ltiple_
3. FORE	2460 TO DUNE M EDUNE	34900 O ANAGEN GRADIN	ceen Dilve IENT SUB G PLAN S	), Pacific ( AREA PL HALL CO	E GRADING City, OR 971 AN:M NTAIN THE	35 enagement FOLLOWII	Units D NG ELE	MENT	•
b. G. d.	equipme Plen viev Plan viev Identity c	nt to be u y and ele y and ele y the indi	ised; Attac vations of vations of	hed Fored existing or proposed esponsible	for supervi	g Plan, Pay the grading is in the gra	je 2 Larea; P Iding an	ages 3 <b>:::</b> Pag	- 15 jes 16 - 25 <b>ar</b> x
b. c. d. I certify the Plan and s	equipme Plan viev Plan viev Identity o monitorin at all dun- uberea p ement P	nt to be u v and ele- v and ele- f the indi- ig and mi e manage lan identi an and the	raed; Attac vations of vations of vidual(s) naintenance ement activified above	hed Fored existing or proposed esponsible activities wither will on tunder	dune Gradin onditions in modification of for supervi Page 26 comply with stand that fa	g Plan, Pay the grading is in the gra sing the pro the Pacific llure to con	je 2 i area; P ading are bject, an City Fon poly with	ages 3 se; Pag d for ex edune l	- 15 jes 16 - 25 <b>ar</b> x
i certify the Plan and a the Manag permit and I certify the and accura	equipme Plan view Plan view Identity of monitorin at all dune uberea p ement P citation. at the info tte. I furt	nt to be used and ole wand ole of the inding and manage land and the matter of the certificant of the certif	raed; Attac vations of vations of vidual(s) n unternance ement activitied above ite condition contained if	hed Foresexisting or proposed esponsible excivities vities will on. I under ins of appoint this apposess the	dune Gradin conditions in modification for supervi Page 26 comply with stand that fa roval of this	g Plan, Pay the grading is in the gra sing the pro the Pacific lure to con permit may ne best of n undertake t	ge 2 l area; P iding are oject, an City Fon oply with result in ny know he activi	ages 3 se; Pag d for co edune i the re- i revoci ledge, ties de	- 15 ps 16 - 25 and producting  Management quirements of ation of this is complete ecribed herein
I certify the Plan and a the Manag permit and I certify the and accura	equipme Plan view Plan view Identity of monitorin at all dune uberea p ement P citation. at the info tte. I furt	nt to be used and ole wand ole of the inding and manage land and the matter of the certificant of the certif	raed; Attac vations of vations of vidual(s) n unternance ement activitied above ite condition contained if	hed Foresexisting or proposed esponsible excivities vities will on. I under ins of appoint this apposess the	dune Gradin onditions in modification of or supervi Page 26 comply with stand that far oval of this lication, to the suthority to stion Departs	g Plan, Pay the grading is in the gra sing the pro the Pacific lure to con permit may ne best of n undertake t	ge 2 l area; P iding are oject, an City Fon oply with result in ny know he activi	ages 3 se; Pag d for co edune i the re- i revoci ledge, ties de	- 15 ps 16 - 25 and producting  Management quirements of ation of this is complete ecribed herein

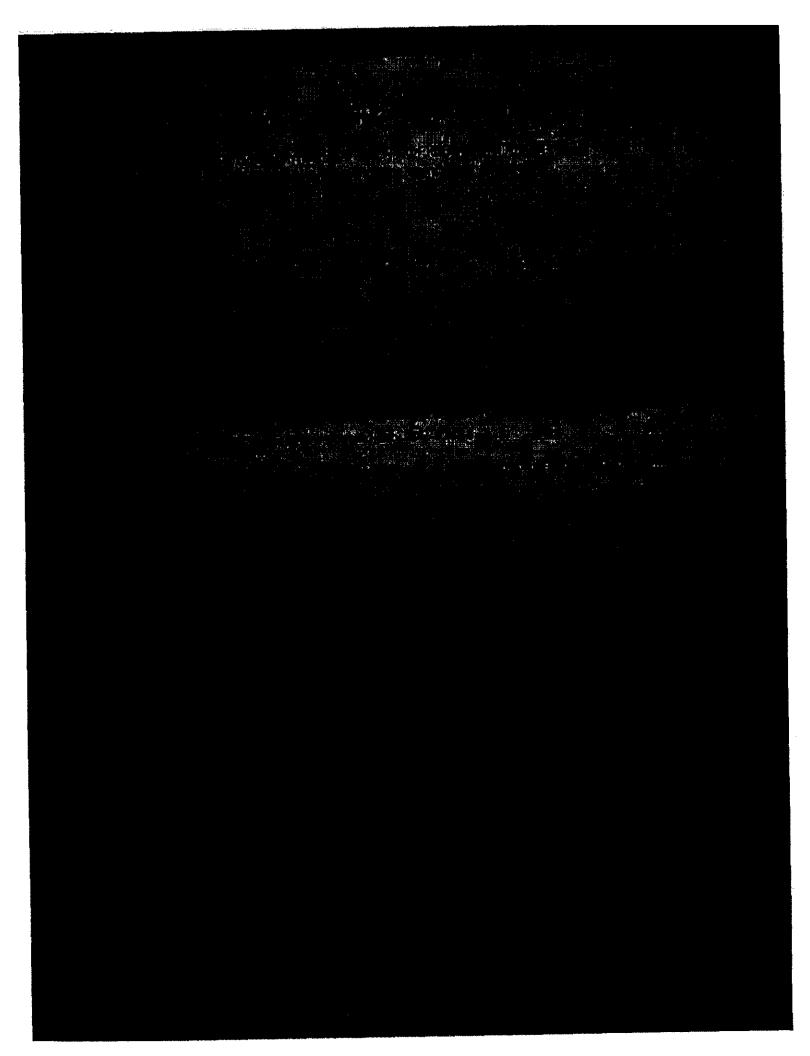
TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT (Please remit fees with the completed application)

Date Received:	Receipt #:
PROPERTY OWNER: Holly & Marc Johnston	PHONE: 503.347.5616
ADDRESS: 3142 Lakeview Blvd. CITY:	Lake Oswego STATE: OR ZIP: 97035
1. LEGAL DESCRIPTION OF PROPERTY WHE	ERE GRADING IS TO OCCUR.
Township 4S Range 11	Section24Tax Lot3200
<ol> <li>ADDRESS OF PROPERTY OWNER WHERE 34460 Ocean Dr. Pacific City, OR 97135</li> </ol>	
3. FOREDUNE MANAGEMENT SUBAREA PLA	N: Management Units D and E
4. A FOREDUNE GRADING PLAN SHALL CON	ITAIN THE FOLLOWING ELEMENTS:
to be used; b. Plan view and elevations of existing co c. Plan view and elevations of proposed r	ding location and timing of activities, and equipment nditions in the grading area; nodifications in the grading area; and for supervising the project, and for conducting
I certify that all dune management activities will concertify that all dune management activities will concert and subarea plan identified above. I undersome the Management Plan and the conditions of appropermit and citation.	omply with the Pacific City Foredune Management tand that failure to comply with the requirements of oval of this permit may result in revocation of this
certify that the information contained in this appleand accurate. I further certify that I possess the a will obtain necessary Oregon Parks and Recreat activities described herein.	authority to undertake the activities described herein.
Signature of Property Owner	January 30, 2024 Date Signed

This permit is Valid Only with Tillamook County Approval Stamp Below

Date Received:	Receipt #:
PROPERTY OWNER: Kiwanda Shores Beachfr Multiple Owners	ront Collective, Jim Bruno (Applicant) PHONE:503-709-3813
ADDRESS:_24727 SW Stafford RdCITY:	TualatinSTATE:_ORZIP:_97062_
1. LEGAL DESCRIPTION OF PROPERTY WH	IERE GRADING IS TO OCCUR.
Township 4S Range 11	Section24Tax LotMultiple
2. ADDRESS OF PROPERTY OWNER WHER 34450 3400 to 34900 Ocean Drive, Pacific (	
3. FOREDUNE MANAGEMENT SUBAREA PL	AN:Management Units D and E
4. A FOREDUNE GRADING PLAN SHALL CO	NTAIN THE FOLLOWING ELEMENTS:
equipment to be used; Attached Fore b. Plan view and elevations of existing c c. Plan view and elevations of proposed	conditions in the grading area; Pages 3 - 15 I modifications in the grading area; Pages 16 - 25 and e for supervising the project, and for conducting
Plan and subarea plan identified above. I under	comply with the Pacific City Foredune Management rstand that failure to comply with the requirements of proval of this permit may result in revocation of this
I certify that the information contained in this appared accurate. I further certify that I possess the I will obtain necessary Oregon Parks and Recreactivities described herein.	plication, to the best of my knowledge, is complete authority to undertake the activities described herein, ation Department permits before I do any of the
Manue	2-14-24 Date Signed
Signature of Applicant	Date Signed
This permit is Valid Only with Till	lamook County Approval Stamp Below

Date Received: 020134	Receipt #:
PROPERTY OWNER: MAKE PANT - RAYIL	PHONE: 503 2449797
ADDRESS: 4411 SW TWOM BUY WEITY:	POTRAND STATE: OR ZIP: 97039
1. LEGAL DESCRIPTION OF PROPERTY WHEN	RE GRADING IS TO OCCUR.
Township 4S Range 11	Section24Tax Lot
2. ADDRESS OF PROPERTY OWNER WHERE 34570 OCEAN DY P.C. OR 97	
3. FOREDUNE MANAGEMENT SUBAREA PLAN	N: Management Units D and E
4. A FOREDUNE GRADING PLAN SHALL CONT	TAIN THE FOLLOWING ELEMENTS:
to be used; b. Plan view and elevations of existing con c. Plan view and elevations of proposed m	
I certify that all dune management activities will co Plan and subarea plan identified above. I understant the Management Plan and the conditions of appro permit and citation.	and that failure to comply with the requirements of
I will obtain necessary Oregon Parks and Recreati activities described berein.	uthority to undertake the activities described herein.
Signature of Property Owner	Date Signéd
This permit is Valid Only with Tillar	nook County Approval Stamp Below



TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT (Please remit fees with the completed application)

Date Received:		R	eceipt #:	<del></del>
PROPERTY OWNER Multiple Owners	R: Adam Cormack	F	'HONE:503	3-709-3813
ADDRESS:_11614 \$	SE Aerie Crescent Rd_CIT	Y:Hapy Valley	_STATE:_O	RZIP:97086_
1. LEGAL DESCRIF	PTION OF PROPERTY WE	IERE GRADING IS TO	O OCCUR.	
Township4S_	Range11	Section24_	Tax Lotl	Multiple
	ROPERTY OWNER WHEF ean Drive, Pacific City, OF			
3. FOREDUNE MAI	NAGEMENT SUBAREA PI	_AN:Manageme	ent Units D and	E
4. A FOREDUNE G	RADING PLAN SHALL CC	NTAIN THE FOLLOW	/ING ELEMEN	TS:
equipment b. Plan view a c. Plan view a d. Identity of	n of the proposed work, inc to be used; and elevations of existing o and elevations of proposed the individual(s) responsib and maintenance activities	conditions in the gradi I modifications in the q le for supervising the p	ng area; grading area; a	nd
Plan and subarea pla	management activities will in identified above. I unde n and the conditions of app	rstand that failure to c	omply with the	requirements of
and accurate. I furth	mation contained in this ap er certify that I possess the y Oregon Parks and Recre erein.	authority to undertak	e the activities	described herein.
		1/17/2024		
_ Signature of Applic Cormack	ant Adam	Date Signed		

This permit is Valid Only with Tillamook County Approval Stamp Below

Date Received:	Receipt #:
PROPERTY OWNER: Kiwanda Shores Beach Multiple Owners	front Collective, Paul Gulick (Applicant) PHONE:503-709-3813
ADDRESS:_24727 SW Stafford RdCITY;	TualatinSTATE:_ORZIP:_97062
1. LEGAL DESCRIPTION OF PROPERTY W	HERE GRADING IS TO OCCUR.
Township 4S Range 11	Section 24 Tax Lot Multiple
2. ADDRESS OF PROPERTY OWNER WHEF 24540 3400 to 34900 Ocean Drive, Pacific	RE GRADING IS TO OCCUR: City, OR 97135
3. FOREDUNE MANAGEMENT SUBAREA PI	AN:Management Units D and E
4. A FOREDUNE GRADING PLAN SHALL CO	ONTAIN THE FOLLOWING ELEMENTS:
equipment to be used; Attached Fore b. Plan view and elevations of existing of c. Plan view and elevations of proposed	conditions in the grading area; Pages 3 - 15 I modifications in the grading area; Pages 16 - 25 and le for supervising the project, and for conducting
Plan and subarea plan identified above. I under	comply with the Pacific City Foredune Management retain that failure to comply with the requirements of proval of this permit may result in revocation of this
I certify that the information contained in this appand accurate. I further certify that I possess the I will obtain necessary Oregon Parks and Recreactivities described herein.  Signature of Applicant	plication, to the best of my knowledge, is complete authority to undertake the activities described herein, ation Department permits before I do any of the Date Signed
This permit is Valid Only with Till	amook County Approval Stamp Below

Date Received:	Receipt #:
PROPERTY OWNER: Adam Cormack	PHONE:
ADDRESS:_11614 SE Aerie Crescent F	Rd_CITY:Hapy ValleySTATE:ORZIP:97086
1. LEGAL DESCRIPTION OF PROPER	RTY WHERE GRADING IS TO OCCUR.
Township4SRange	_11Section24Tax LotMultiple
2. ADDRESS OF PROPERTY OWNER3400 to 34900 Ocean Drive, F	WHERE GRADING IS TO OCCUR: Pacific City, OR 97135
3. FOREDUNE MANAGEMENT SUBAF	REA PLAN:Management Units D and E
4. A FOREDUNE GRADING PLAN SHA	ALL CONTAIN THE FOLLOWING ELEMENTS:
to be used; b. Plan view and elevations of ex c. Plan view and elevations of pro	ork, including location and timing of activities, and equipment cisting conditions in the grading area; oposed modifications in the grading area; and ponsible for supervising the project, and for conducting activities.
Plan and subarea plan identified above.	ies will comply with the Pacific City Foredune Management I understand that failure to comply with the requirements of s of approval of this permit may result in revocation of this
and accurate. I further certify that I posse	this application, to the best of my knowledge, is complete ess the authority to undertake the activities described herein. I Recreation Department permits before I do any of the
	1/17/2024
_ Signature of Applicant Adam Cormack	Date Signed
This permit is Valid Only	with Tillamook County Approval Stamp Below

Date Received:	Receipt #;			
PROPERTY OWNER:Lee & Debbie Stuart_	PHONE:402-525-3350			
ADDRESS: 3617 Potomac Lane CITY:	_Lincoln_STATE:NEZIP:_68516			
1. LEGAL DESCRIPTION OF PROPERTY WHE	RE GRADING IS TO OCCUR.			
KIWANDA SHORES 4th ADD BLOCK 10 LOT 2				
TownshipRangeSection	Tax Lot4S11 24DD 08100			
ADDRESS OF PROPERTY OWNER WHERE    34620 Ocean Drive, Pacific City, OR 97	GRADING IS TO OCCUR:			
3. FOREDUNE MANAGEMENT SUBAREA PLA	N: Management Units D and E			
4. A FOREDUNE GRADING PLAN SHALL CON	TAIN THE FOLLOWING ELEMENTS:			
<ul> <li>a. Description of the proposed work, including location and timing of activities, and equipment to be used;</li> <li>b. Plan view and elevations of existing conditions in the grading area;</li> <li>c. Plan view and elevations of proposed modifications in the grading area; and</li> <li>d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.</li> </ul>				
I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.				
I certify that the information contained in this appliand accurate. I further certify that I possess the a I will obtain necessary Oregon Parks and Recreat activities described herein.  Signature of Property Owner	uthority to undertake the activities described herein.			
	mook County Approval Stamp Below			

TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT (Please remit fees with the completed application)

Date Received:	Receipt #:			
PROPERTY OWNER:Paul Gulick_	PHONE: 503-709-3813			
ADDRESS:24727 SW Stafford Rd	CITY:TualatinSTATE: _ORZIP: _97062			
1. LEGAL DESCRIPTION OF PROPERTY	WHERE GRADING IS TO OCCUR.			
Township4SRange				
<ol> <li>ADDRESS OF PROPERTY OWNER W 34650 Ocean Drive, Pacific City, Of</li> </ol>	• • • • • • • • • • • • • • • • • • • •			
3. FOREDUNE MANAGEMENT SUBARE	A PLAN: Management Unit E			
4. A FOREDUNE GRADING PLAN SHAL	L CONTAIN THE FOLLOWING ELEMENTS:			
<ul> <li>a. Description of the proposed work, including location and timing of activities, and equipment to be used;</li> <li>b. Plan view and elevations of existing conditions in the grading area;</li> <li>c. Plan view and elevations of proposed modifications in the grading area; and</li> <li>d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.</li> </ul>				
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I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.				
Signature of Property Owner	Date Signed			

This permit is Valid Only with Tillamook County Approval Stamp Below

Date Received:	Receipt#:
PROPERTY OWNER: Kiwanda Shores Beachfront Collective Multiple Owners	, Paul Gulick (Applicant) PHONE:503-709-3813
ADDRESS:_24727 SW Stafford RdCITY:Tualatin	_STATE:ORZIP:97062
1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADIN	IG IS TO OCCUR.
Township 4S Range 11 Section  2. ADDRESS OF PROPERTY OWNER WHERE GRADING I 3400 to 34900 Ocean Drive, Pacific City, OR 9713	IS TO OCCUR:
3. FOREDUNE MANAGEMENT SUBAREA PLAN:Mar	nagement Units D and E
4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE F	OLLOWING ELEMENTS:
<ul> <li>a. Description of the proposed work, including location equipment to be used; Attached Foredune Grading</li> <li>b. Plan view and elevations of existing conditions in the c. Plan view and elevations of proposed modifications</li> <li>d. Identity of the individual(s) responsible for supervision monitoring and maintenance activities. Page 26</li> </ul>	Plan, Page 2 ne grading area; Pages 3 - 15 in the grading area; Pages 16 - 25 and
I certify that all dune management activities will comply with the Plan and subarea plan identified above. I understand that fail the Management Plan and the conditions of approval of this permit and citation.	ure to comply with the requirements of
I certify that the information contained in this application, to the and accurate. I further certify that I possess the authority to use I will obtain necessary Oregon Parks and Recreation Departmental Control of the American Department of the American Department of the American Department of the Control of the American Department of the Control of	ndertake the activities described herein.
	/6-2034 gned
This permit is Valid Only with Tillamook Count	y Approval Stamp Below

Date Received:	Receipt#:			
PROPERTY OWNER: Kiwanda Shores Beachfront Collective, Paul Gulick (Applicant)  Multiple Owners  PHONE:503-709-3813				
ADDRESS:_24727 SW Stafford RdCITY:Tual	atinSTATE:ORZIP:97062			
1. LEGAL DESCRIPTION OF PROPERTY WHERE	GRADING IS TO OCCUR.			
Township4SRange11	Section24Tax LotMultiple			
<ol> <li>ADDRESS OF PROPERTY OWNER WHERE GF 34710 Ocean Drive, Pacific City, OR 9713</li> </ol>				
3. FOREDUNE MANAGEMENT SUBAREA PLAN:_	Management Units D and E			
4. A FOREDUNE GRADING PLAN SHALL CONTAI	N THE FOLLOWING ELEMENTS:			
<ul> <li>a. Description of the proposed work, including location and timing of activities, and equipment to be used;</li> <li>b. Plan view and elevations of existing conditions in the grading area;</li> <li>c. Plan view and elevations of proposed modifications in the grading area; and</li> <li>d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.</li> <li>I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.</li> </ul>				
I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.				
William F. Toff mo				
Signature of Applicant	03/08/2024 Date Signed			
This permit is Valid Only with Tillamook County Approval Stamp Below				

I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.	Date Received:	Receipt #:
1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.  Township 4S Range 11 Section 24 Tax Lot Multiple  2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR:  34730 Ocean Drive, Pacific City, OR 97135  3. FOREDUNE MANAGEMENT SUBAREA PLAN: Management Units D and E  4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:  a. Description of the proposed work, including location and timing of activities, and equipment to be used; Attached Foredune Grading Plan, Page 2  b. Plan view and elevations of existing conditions in the grading area; Pages 3 - 15 c. Plan view and elevations of proposed modifications in the grading area; Pages 15 - 25 and d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.Page 26  I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.  I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.		
Township 4S Range 11 Section 24 Tax Lot Multiple 2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR: 34730 Ocean Drive, Pacific City, OR 97135 Management Units D and E 4. A FOREDUNE MANAGEMENT SUBAREA PLAN: Management Units D and E 5. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:  a. Description of the proposed work, including location and timing of activities, and equipment to be used; Attached Foredune Grading Plan, Page 2 b. Plan view and elevations of existing conditions in the grading area; Pages 3 - 15 c. Plan view and elevations of proposed modifications in the grading area; Pages 16 - 25 and d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities. Page 26  I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.  I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein.  I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.	ADDRESS:_24727 SW Stafford RdCITY:Tue	alatinSTATE:_OR_ZIP:_97062_
<ol> <li>ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR:        34730 Ocean Drive, Pacific City, OR 97135</li></ol>	1. LEGAL DESCRIPTION OF PROPERTY WHER	E GRADING IS TO OCCUR.
3. FOREDUNE MANAGEMENT SUBAREA PLAN: Management Units D and E  4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:  a. Description of the proposed work, including location and timing of activities, and equipment to be used; Attached Foredune Grading Plan, Page 2  b. Plan view and elevations of existing conditions in the grading area; Pages 3 - 15  c. Plan view and elevations of proposed modifications in the grading area; Pages 16 - 25 and d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities. Page 26  I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.  I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein.  I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.	Township 4S Range 11	_Section24Tax LotMultiple
<ul> <li>4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:</li> <li>a. Description of the proposed work, including location and timing of activities, and equipment to be used; Attached Foredune Grading Plan, Page 2</li> <li>b. Plan view and elevations of existing conditions in the grading area; Pages 3 - 15</li> <li>c. Plan view and elevations of proposed modifications in the grading area; Pages 16 - 25 and d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities. Page 26</li> <li>I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.</li> <li>I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein.</li> <li>I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.</li> </ul>		
<ul> <li>a. Description of the proposed work, including location and timing of activities, and equipment to be used; Attached Foredune Grading Plan, Page 2</li> <li>b. Plan view and elevations of existing conditions in the grading area; Pages 3 - 15</li> <li>c. Plan view and elevations of proposed modifications in the grading area; Pages 16 - 25 and d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities. Page 26</li> <li>I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.</li> <li>I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein.</li> <li>I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.</li> </ul>	3. FOREDUNE MANAGEMENT SUBAREA PLAN:	Management Units D and E
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and accurate. I further certify that I possess the authority to undertake the activities described herein.  I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.	Plan and subarea plan identified above. I understa	nd that failure to comply with the requirements of
	and accurate. I further certify that I possess the aut	thority to undertake the activities described herein.
Signature of Applicant Date Signed  This possible Volid Columbia Tillemook County Approved Stamp Bolow	Signature of Applicant	Date Signed

Date Received:	Receipt #
PROPERTY OWNER: Kwanca Shares Be Multiple Owners Julia-Palar Share 8:75 Rouls har lab.	Aingille (Report Formance - September 1707
ADDRESS: 2422 SW SUGALEL _CIT	(: Tueledia STATE OR ZP. 97062
1. LEGAL DESCRIPTION OF PROPERTY	WHERE GRADING IS TO OCCUR. 045 11 W 247
Formula 46 Parise	1Secino24Text.in;44.Mote
2. ADDRESS OF PROPERTY OWNER W	WHERE GRADING IS TO OCCUR.
3. FOREDUNE MANAGEMENT SUBARE	
4. A FOREDUNE GRADING PLAN SHAL	L CONTAIN THE FOLLOWING ELEMENTS:
to be used:  b. Plan view and elevations of exists.  c. Plan view and elevations of project.  d. Identity of the individual(s) responsibiling and maintenance ac	posed modifications in the grading area, and anside for supervising the project, and for conclusing trilles.
Plan and subarea dan identified above. I	s will comply with the Pacific City Foreigne Management understand that failure to comply with the requirements of of approval of this partial may result in revocation of this
and arrived in the certify frei losses	this application, to the best of my knowledge, is complete as the authority to undertake the activities described herein. Recreation Department permits before too any of the
San C	1/17/24
Signature of Applicant	Date Signed
This permit is Valid Only w	in Tillamook County Approval Stamp Below

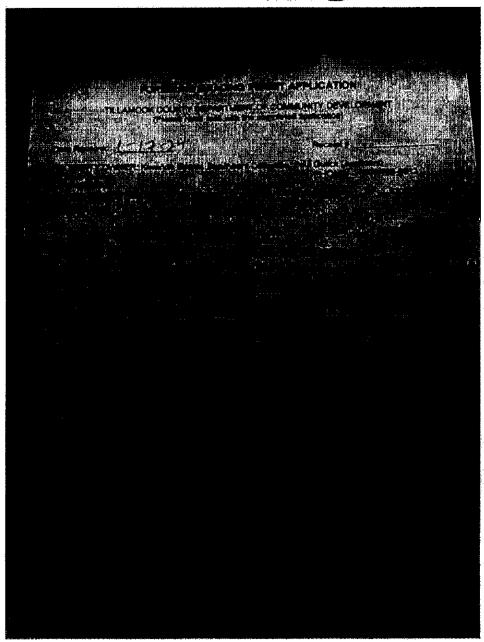
Date Received:	Receipt #:		
PROPERTY OWNER: Kiwanda Shores Beachfront C Multiple Owners	ollective, Stephen Hiroshige (Applicant) PHONE:503-709-3813		
ADDRESS:_24727 SW Stafford RdCITY:Tuala	atinSTATE:_ORZIP:97062		
1. LEGAL DESCRIPTION OF PROPERTY WHERE	GRADING IS TO OCCUR.		
Township4SRange11	Section24Tax LotMultiple		
2. ADDRESS OF PROPERTY OWNER WHERE GR 3400 to 34900 Ocean Drive, Pacific City, C	RADING IS TO OCCUR: DR 97135		
3. FOREDUNE MANAGEMENT SUBAREA PLAN:_	Management Units D and E		
4. A FOREDUNE GRADING PLAN SHALL CONTAI	N THE FOLLOWING ELEMENTS:		
<ul> <li>a. Description of the proposed work, including location and timing of activities, and equipment to be used;</li> <li>b. Plan view and elevations of existing conditions in the grading area;</li> <li>c. Plan view and elevations of proposed modifications in the grading area; and</li> <li>d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.</li> </ul>			
I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.			
I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.			
Signature of Applicant	リ//6/てつとゲ Date Signed		
This permit is Valid Only with Tillamo	ok County Approval Stamp Below		

Date Received:	Receipt #:			
PROPERTY OWNER: Frank Moscow  ADDRESS: 2222 NW Hoyt St Unit 302 CITY: PC	PHONE: 5039756955			
PROPERTY OWNER:	ortland Or 715, 97210			
ADDRESS: 2222 NW HOYE SE OTHE 302 CITY: TE	STATE: ZIP:			
1 LEGAL DESCRIPTION OF PROPERTY WHERE	GRADING IS TO OCCUR.			
Township 4S Range 11 S	Section 24 Tax Lot UOTI L KITOW			
2. ADDRESS OF PROPERTY OWNER WHERE GR. 34790 Ocean Dr. Pacific City Oregon	ADING IS TO OCCUR:			
3. FOREDUNE MANAGEMENT SUBAREA PLAN:	Management Units D and E			
4. A FOREDUNE GRADING PLAN SHALL CONTAIN	THE FOLLOWING ELEMENTS:			
<ul> <li>a. Description of the proposed work, including location and timing of activities, and equipment to be used;</li> <li>b. Plan view and elevations of existing conditions in the grading area;</li> <li>c. Plan view and elevations of proposed modifications in the grading area; and</li> <li>d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.</li> </ul>				
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Frank MOSCOW Frank moscow (Jan 18, 2024 15:58 PST)	Jan 18, 2024			
Signature of Property Owner	Date Signed			
This permit is Valid Only with Tillamo	ok County Approval Stamp Below			

Date Received:					Re	ceípt#; _			
PROPERTY O	WER TO	ulen and i	in K	Mey	Ĵ	HONE	<u>25)5</u>	91-43	331
ADDRESS: ]/]	007 NE	2 St ST.	_city:_	Pellevine		STATE	Day.	ZIP:_9	<u>800</u> 8
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Addition				Ø 5 Date Sig	1a4				
Signature of P	roperty Own	es#		Date Sig	ned.				
a de la companya de	This permit	is Valid Only	with Tillar	nock County	Appro	val Stam	Below		

Date Received:	Receipt #:
PROPERTY OWNER: Kiwanda ( Multiple Owners	Shores Beachfront Collective, Adam Roselli (Applicant) PHONE:503-709-3813
ADDRESS:_24727 SW Stafford I	RdCITY:TualatinSTATE:ORZIP:97062
1. LEGAL DESCRIPTION OF P	ROPERTY WHERE GRADING IS TO OCCUR.
Township4SRai	nge11Section24Tax LotMultiple
2. ADDRESS OF PROPERTY C	WNER WHERE GRADING IS TO OCCUR:
34100 Ocean Drive, P	acific City, OR 971353.
FOREDUNE MANAGEMENT SU	BAREA PLAN: Management Units D and E 4.
A FOREDUNE GRADING PLAN	SHALL CONTAIN THE FOLLOWING ELEMENTS:
<ul><li>b. Plan view and elevation</li><li>c. Plan view and elevation</li><li>d. Identity of the individua</li></ul>	Attached Fire biding docating page, tipping of activities, and as of existing conditions in the grading area; Pages 3 - 15 as of proposed modifications in the grading area; Pages 16 - 25 and I(s) responsible for supervising the project, and for conducting nance activities. Page 26
Plan and subarea plan identified a	t activities will comply with the Pacific City Foredune Management above. I understand that failure to comply with the requirements of nditions of approval of this permit may result in revocation of this
and accurate. I further certify that	ined in this application, to the best of my knowledge, is complete t I possess the authority to undertake the activities described herein. irks and Recreation Department permits before I do any of the
-Dooustgree by: Llain Koselli	1/16/2024
-7FC23A801FBA478 Applicant	Date Signed
This permit is Vali	d Only with Tillamook County Approval Stamp Below

Adams



Date Received:	Receipt #:		
PROPERTY OWNER: Kiwanda Shores Beachfront Multiple Owners	Collective, Michael Smith (Applicant) PHONE:503-709-3813		
ADDRESS:_24727 SW Stafford RdCITY:Tu	alatinSTATE:_ORZIP:97062		
1. LEGAL DESCRIPTION OF PROPERTY WHER	RE GRADING IS TO OCCUR.		
Township 4S Range 11	Section24Tax Lot7200		
2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR: 3400 to 34900 Ocean Drive, Pacific City, OR 97135			
3. FOREDUNE MANAGEMENT SUBAREA PLAN	Management Units D and E		
4. A FOREDUNE GRADING PLAN SHALL CONT	AIN THE FOLLOWING ELEMENTS:		
<ul> <li>a. Description of the proposed work, including location and timing of activities, and equipment to be used;</li> <li>b. Plan view and elevations of existing conditions in the grading area;</li> <li>c. Plan view and elevations of proposed modifications in the grading area; and</li> <li>d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.</li> </ul>			
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I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.    1.19.24			
Signature of Applicant	Date Signed		
This permit is Valid Only with Tillamook County Approval Stamp Below			

Date Received:	Receipt #:_
PROPERTY OWNER: Kiwanda Shores Beachfront Coll Multiple Owners	lective, Paul Guick (Applicant) PHONE: 503-709-3813
ADDRESS: 24727 SW Stafford RdCITY:Tualati	n STATE; OR ZIP; 97062
1. LEGAL DESCRIPTION OF PROPERTY WHERE G	RADING IS TO OCCUR.
Township 4S Range 11 Se	ction 24 Tax Lot Multiple
<ol> <li>ADDRESS OF PROPERTY OWNER WHERE GRAIN 3400 to 34900 Ocean Drive, Pacific City, OR</li> </ol>	
3. FOREDUNE MANAGEMENT SUBAREA PLAN:	Management Units D and E
4. A FOREDUNE GRADING PLAN SHALL CONTAIN	THE FOLLOWING ELEMENTS:
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I certify that the information contained in this application and accurate. I further certify that I possess the authorit will obtain necessary Oregon Parks and Recreation Deactivities described herein.  Signature of Applicant	y to undertake the activities described herein.
This permit is Valid Only with Tillamook	County Approval Stamp Below

TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT (Please remit fees with the completed application)

Date Received:	FEB 1 8 2025	Receipt #:		
PROPERTY OWNER: Kiwanda Shores Beachfront Collective, Paul Gulick (Applicant)				
Multiple Owners		PHONE:503-709-3813		
ADDRESS:_24727 SW Stafford RdCITY:TualatinSTATE:ORZIP:97062				
1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.				
Township4SRange1	1Section	_24Tax LotMultiple		
ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR: 3400 to 34900 Ocean Drive, Pacific City, OR 97135				
3. FOREDUNE MANAGEMENT SUBAREA PLAN:Management Units D and E				
4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:				
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I certify that the information contained in the and accurate. I further certify that I posses I will obtain necessary Oregon Parks and activities described herein.  Signature of Applicant	ss the authority to und	lertake the activities described herein.  Int permits before I do any of the  Vpdated  30/29  2/11/25		

This permit is Valid Only with Tillamook County Approval Stamp Below

PROPERTY OWNER: Lad Gaspare/L  PHONE: 503 349 8033  ADDRESS: 22665 SW Yankton PI CITY: Totaltin STATE: 0£ ZIP: 97062  1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.  Township 4S Range 11 Section 24 Tax Lot 1400  2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR: 34080 0 ccarn liv. Pacific City. 01 97135  3. FOREDUNE MANAGEMENT SUBAREA PLAN: Management Units D and E  4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:  a. Description of the proposed work, including location and timing of activities, and equipment to be used: b. Plan view and elevations of existing conditions in the grading area; and d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.  I certify that all durie management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.  I certify that the Information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein.  When Hammagement Described herein.  When Hammagement Described herein.  By 105 2024  Date Signature of Property Owner  This permit is Valid Only with Tillamcok County Approval Stamp Below	Date Received: 03 68/2024	Receipt #:			
ADDRESS: 2266 SW Yankton PI CITY: Twithin STATE: OC ZIP: 47062  1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.  Township 4S Range 11 Section 24 Tax Lot 2400  2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR: 34080 Occan br., Pacific Lity, OL 97135  3. FOREDUNE MANAGEMENT SUBAREA PLAN: Management Units D and E  4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:  a. Description of the proposed work, including location and timing of activities, and equipment to be used; b. Plan view and elevations of existing conditions in the grading area; c. Plan view and elevations of proposed modifications in the grading area; and d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.  I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.  I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein.  I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.  Signature of Property Owner	PROPERTY OWNER: 1444 GASSACANO	PHONE: 503.349.8033			
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2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR: 34080 OCCAPT Nr. Pacific (14), OR. 97(35)  3. FOREDUNE MANAGEMENT SUBAREA PLAN: Management Units D and E 4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS;  a. Description of the proposed work, including location and timing of activities, and equipment to be used; b. Plan view and elevations of existing conditions in the grading area; c. Plan view and elevations of proposed modifications in the grading area; d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.  I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.  I certify that the Information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein.  I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.  Signature of Property Owner  2. OS 05 2024  Date Signature	1. LEGAL DESCRIPTION OF PROPERTY WHER	E GRADING IS TO OCCUR.			
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#### Addendum A

### 1.0 Introduction

Kiwanda Shores Beachfront Collective, LLC, comprising the homeowners of beachfront property within the Kiwanda Shores development in Pacific City, Oregon is providing this Foredune Grading Plan with Monitoring Report, Oregon Parks and Recreation Department (OPRD) Ocean Shores Permit Application for Sand Alteration, and Tillamook County Foredune Grading Permit Applications for the purpose of obtaining all permits and approvals necessary for the grading of sand to protect our homes from inundation, and to preserve our views and beach access to our properties.

The subject site consists of 40 contiguous oceanfront lots (Kiwanda Shores First, Third, and Fourth Additions) of the Kiwanda Shores development on the western side of Ocean Drive in unincorporated Pacific City, Tillamook County, Oregon (Figures 1 and 2; Appendix A – List of Participating Owners; Appendix B – Site Topographic Survey and Cross Sections; and Appendix C – Site Photographs).

The purpose of this document is to provide evidence and justification for the requested Sand Alteration Permit and the Tillamook County Foredune Grading Permit, including a brief history of the area as related to beach and foredune conditions, and to provide a Foredune Grading Plan (FGP) that is in conformance with the Pacific City Foredune Management Plan (PCFMP) adopted in 1999. The project area lies in Management Units D and E of the PCFMP. This report pertains only to PCFMP Management Units D and E, and therefore this report is not applicable to the other management units in the PCFMP. The scope of work performed for this document included a topographic survey by an Oregon Professional Land Surveyor with 21 cross sections (ground profiles) throughout the project area which trend westerly from Ocean Drive; limited review of the geologic literature; review of historical mono and stereo aerial photography; discussions with several residents of the project area, a past President and Vice President of the Pacific City Homeowners Association and current president of the Kiwanda Shores Beachfront Collective, LLC, and the contractor that has completed most of the past revetment work and grading.

The Kiwanda Shores Beachfront Collective, LLC (KSBC) was granted a Tillamook County Grading Permit, and an OPRD Sand Alteration Permit with a 5 year duration in 2017, and performed grading and planting during that permitted period similar to that which is proposed here-in. As supported with data and testimonials contained here-in, the subject area experiences very significant natural sand movement with wind and storms each year. The subject area has limited history of successful creation and maintenance of sand stilling vegetation, natural or otherwise, and much effort and expense has been spent pursuing ways to minimize the natural sand inundation. The proposed grading and associated efforts for dune stabilization are necessary to preserve the homes

and to maintain beach access within the subject area.

### 2.0 Site Description

The site is located on the Nestucca Spit in an active dune area having a foredune management plan, the Pacific City Foredune Management Plan (PCFMP). The project area consists of 40 contiguous oceanfront lots in the Kiwanda Shores Subdivision First, Third, and Fourth Additions adjacent to the Pacific Ocean, located a few blocks west of the Nestucca River along the west side of Ocean Drive in the Kiwanda Shores area of the unincorporated community of Pacific City, Oregon (Figures 1 and 2). The 40 subject lots lie in and adjacent Zones VE (EL 24.9), (EL 27.1) and (EL 25.2) (NAVD 88) moving south to north, respectively, with no other mapped flood zones present. The mapping shows the Zone VE boundary appearing to coincide with the line of an identified riprap revetment oceanfront protection structure installed from approximately 1976 through 1979 along the western property boundaries of all 40 of the subject lots. The site is bounded to its north by the Shorepine Village residential development with a natural, essentially unaltered foredune fronting its western side, to its south by the undeveloped Tax Lot 9200, to its east by Ocean Drive which provides access, and to its west by the beach and the Pacific Ocean. In general, grades adjacent to homes are 30 to 38 feet (NGVD 29) with the higher elevations lying at the southern end of the project area in Management Unit E.

#### 3.0 Project Description

The project area lies within the Pacific City/Woods Medium Density Residential Zone (PCW-R2) and is subject to the Beach and Dune Overlay Zone (Tillamook County BD - Section 3.530). The subject area lies within the Pacific City Foredune Management Plan, Management Units D and E (Figure 2).

The Kiwanda Shores Beachfront Collective, LLC (KSBC), a group of oceanfront homeowners in Kiwanda Shores, propose to conduct foredune grading of Management Units D and E in compliance with the adopted PCFMP of an approximate 2,500 feet length of oceanfront in the Kiwanda Shores development in Pacific City, Tillamook County, Oregon.

Approximately 52,000 cubic yards of sand would be pushed westward from the western edge of a line of homes along the west side of Ocean Drive to form a man-made dune profile.

### 3.1 Project Justification and Overview of Project Necessity

The Subject Area has been susceptible to severe sand inundation since shortly after the original development of the property for residential use. Over the years, many efforts have been made to both protect homes, view and access from the sand accumulation, and to stabilize the dunes to minimize further sand movements with varying degrees of success and failure. The ongoing sand accumulation provides imminent danger of damage to the homes within the subject area, and in many cases has resulted in an inability to gain access to the beachfront.

An historical account of dune grading and planting of sand stilling vegetation (European beachgrass) in Kiwanda Shores has been provided by Mr. Dave Junkin, who is thoroughly familiar with work that has been done at the site, and supplemented by Mr. Paul Gulick, homeowner since the late 1990's and current head of the Kiwanda Shores Beachfront Collective, LLC (KSBC). In the mid-1990s and early 2000s, Mr. Junkin, a previous resident of Kiwanda Shores and past Vice President of the Kiwanda Shores Homeowners Association (1988-1996) and President of the Pacific City Beachfront Homeowners Association (1992-2002), was largely responsible for directing vegetation planting and maintenance efforts from May 1983 to June 2002 (Appendix F). During this time, dune grading and planting of European beachgrass (Ammophila arenaria) was completed in 1994, 1995, 1997, and 2000. The planting of vegetation was done primarily by students that worked on the project in return for payment of school athletic fees, over 2 weekends each year. Approximately sixteen 40-passenger busloads of students participated in the dune planting project over the first two-year period. Therefore, the amount of labor involved in this 2-year period was about 5,900 man-hours, or more; additional hours were spent in 1997 and the early 2000s.

To summarize Mr. Junkin's synopsis, by January 1986 (after the late 1970s and early 1980s El Niño/La Niña events) sand was rapidly accumulating around the homes and needed to be bulldozed, which was accomplished. (Please note: Coastway Construction reported that sand grading began in the 1970s.) In November of 1986, Tillamook County told the homeowners that "no bulldozing at ail" would be permitted. By February 1987 remedial grading within 20 feet of the homes was allowed by the County. In July 1988, the State halted the bulldozing; then by spring of 1989 bulldozing was again allowed within 20 feet of the homes, and down to base flood elevation by July 1989.

Pacific City Beachfront Homeowners Association was formed in 1992, and discussions with County and State officials concerning a dune management plan were initiated. This resulted in approval of a 'pilot program' in 1994 for grading of the foredune and planting. The area from Cape Kiwanda to the south end of Kiwanda Shores was graded to the 34 feet elevation, the V Zone elevation of 30 feet plus 4 feet (NGVD 29), and 375,000 plants were planted along this approximately ¾ mile long beachfront area. This planting continued along with repair plantings through the spring of 1995. In 1996 storms eroded most sand eastward to the revetment,

exposing it and removing most of the vegetation.

In January 1997 discussions began with State and County officials to create a formal Foredune Management Plan. The Pacific City Foredune Management Plan was completed in September 1998 and adopted by the County in 1999.

In the spring of 1997 more grading and planting was accomplished. In April 2000 the foredune area from Cape Kiwanda to approximately the south end of Kiwanda Shores, which included 72 lots, was graded and planted 75 feet wide, had 150 "Keep Off" signs posted, and the beachgrass was fertilized and watered. These efforts continued through 2002 but the plantings failed. From that time up until 2015, regulatory officials did not raise objections to the grading activities in the area. At that time, the county informed homeowners that if grading to protect homes were to proceed, they must be done through the permitting process and in line with the PCFMP. Homeowners started submitting applications for Remedial Grading Permits in an effort to save their homes from sand inundation. Those permits were granted, and grading was performed per those permits minimizing damage to homes during that time. However, it became clear that being limited to only grading within 20 feet of the homes resulted in huge piles of sand that not only limited both views of the ocean and any access to the beach that was previously enjoyed, but also would just slump back down onto the homes at the next storm.

In 2016, the beachfront homeowners of Kiwanda Shores formed the Kiwanda Shores Beachfront Collective LLC for the express purpose of securing the proper permits to allow the grading of sand along the Kiwanda Shores section of Pacific City shoreline, and which was coordinated by one of the homeowners, Paul Gulick. A geologic engineering consultant firm, H.G. Schlicker, was hired to study the area and provide reports required by the county and state permitting process. Doug Gless of H.G. Schlicker & Assoc. surveyed the area, researched sand and vegetation histories and created a report to be used in the application for permits for sand alteration. Much of the content in this report stems from the work of Mr. Gless and H.G. Schlicker and Associates performed at that time. The KSBC submitted applications to Tillamook County and to OPRD in 2016, and were granted permits in 2017 by both entities.

For the next 5 years, the KSBC coordinated grading efforts in the subject area, oversaw the third party monitoring of the grading per the permitted Monitoring Plan, and contracted for the planting of beach grass after each grading event. During this time, grading of the subject area successfully protected the homes from inundation, and preserved views and beach access as intended. Each winter, new storms would deposit significant amount of sands on or near the homes in the area, and each spring, the grading would be done

to push that sand back out seaward, shaped as describing in the permitted grading plan, and then the foredune was planted each year with sand stilling grasses. Signs were posted each year to minimize foot traffic on the newly planted beach grass. Despite these efforts and considerable expense, most of the beach grass would not survive the summer, and thus was generally ineffectual in slowing the movement of sand. However, some success was seen on the South end of the subject area, where the planted grasses did take hold, and did to some extent slow the movement of sand towards the home on that end of the subject area.

Kiwanda Shores Beachfront Collective, LLC proposes to grade the foredune on which their homes and the area to the west occupy, continuing the work that has been performed over the past 5 years under permit. This grading is proposed to conform to the PCFMP for Units D and E. The objectives of the proposed grading are to prevent homes from being inundated with sand and to maintain views; to maintain flood/erosion protection; and to maintain or enhance access for homeowners and public; with the priority objective being to "minimize inundation brought about by excessive accumulation of wind-blown sand and correspondingly maintaining or enhance ocean views".

The proposed graded dune profiles are shown on Figures 4, 6, 9, 12 and 13. These were developed using the Foredune Management Plan's Management Strategy for Units D and E (Figure 15 – Design Foredune and Figure 16 – Idealized End Member Dune Profiles)

### 4.0 Potential Impacts and Mitigation Efforts

The grading and dune stabilization will follow the approved Pacific City Dune Management Plan (PCFMP) and could result in the following short term impacts:

- Sand will be disrupted during grading and moved towards the beach. Some beach grass may be disturbed or destroyed
- Sand that is disturbed during grading may be susceptible to winds until stabilization efforts are complete
- Grading equipment may emit noise and leave temporary tracks in the sand

Efforts to minimize these impacts include performing all grading during the winter months when the sand is wet and not as susceptible to blowing during the grading activities Furthermore, efforts will be made to work around any established areas of beach grass as much as is practical to minimize disruption of any established beach grass sections. Lastly, the stabilization efforts (planting of new beach grass) will be performed as soon after the finish grading is completed to minimize the time of any exposed, recently graded areas prior to the approved stabilization efforts.

4.1 Compliance with Beach Construction/Alteration Standards

In addition to the foreseeable impacts outlined above, this application provides the following plans and assurances in full compliance with current state and county guidelines for all Beach Construction and Alterations.

#### 4.1.1 General Standards

The project will protect all applicable public rights to the subject area during the proposed grading activities. At no time will equipment or personnel restrict or limit any public rights in the subject area. The work is done over a large area with a limited amount of equipment (one 312 Excavator) that limiting any access or other public rights is not necessary to assure safety or compliance.

There will be no costs to the public to perform the activities outlined here-in. No government agency is required to perform any of the work, and no ability to tap any public funds is envisioned or proposed.

The project is in compliance with the LCDC Goals, specifically Goal 18 which outlines all construction activities and development, including sand alteration on the Oregon coast. Goal 18 specifically allows for the proposed sand alteration to be done for the preservation of personal property, and for the preservation of views and access, as long as such activities is permitted and shown to be in compliance with an approved Foredune Management plan such as the Pacific City Foredune Management Plan approved and adopted in 1999.

#### 4.1.2 Scenic Standards

In compliance with the Scenic Standards outlined in OAR 736-020-0015, the project will not negatively or significantly alter any natural features in the subject area. The current state of the subject area, as outline above and detailed in testimonials and pictures here-in, comprises a long relatively flat section of sand covered foredune extending from the homes at a base level of 30 to 38 feet (NGVD 29) down to the water level. The project will only continue that historical profile by grading sand away from homes and planting beach grass for dune stabilization. As the beach grass continues to take hold, as it has done on the far southern portion of the subject area, the natural features will only be enhanced.

Damage to any existing beach grass areas will be minimized per the grading plan contained herein, and in all cases, should damage occur, the beach grass areas will be replanted and protected. No view obstruction of the natural areas will result from the permitted activities, and the end result of the grading and stabilization efforts will compatible with the natural surroundings in the area.

### 4.1.3 Recreational Use Standards

Recreational use and access of the subject area will not be impacted by the project, either during the grading activity or after completion. Only limited restrictions will apply in close vicinity to the grading equipment during grading, which will be done in low use periods during the months of November to March.

### 4.1.4 Safety Standards

All applicable safety standards will be monitored and adhered to during the grading and planting activities. All activity will be performed by professional contractors who are properly insured and permitted to perform such work. At no time will there be a risk to neighboring properties, in that only open sand dunes abut the subject area to both the north and south. Homeowners within the subject area have signed this application and approved the work envisioned here-in.

The contractor doing the grading has significant experience doing the work outlined here and has not had any reported safety violations or concerns. They have outlined their safety plan as including a barrier around the active work area at all times machines are in operation. Such barrier will include, at their option, signage indicating that work is in progress, and all non-authorized personnel to keep out, and/or ropes or caution tape around the work area. If public foot traffic becomes high, or if it is deemed that the barriers are inadequate to guarantee public safety, a spotter will be added to the work site to assure no public enters the work area.

#### 4.1.5 Natural and Cultural Resource Standards

Natural and Cultural Resources Standards will be adhered to during the grading and foredune stabilization. Specifically, there is no anticipated impact to fish and wildlife resources as the grading activity is to be performed well above the mean high tide mark, and no other water or natural elements are in the subject area other than open dune as described earlier. There are no estuarine elements in the subject area. The grading will be done such that if at any time any potential historical, cultural, archaeological, or geologic items are discovered in the subject area, all grading will stop and state resources will be brought in to evaluate the situation and guide and inform the project on how to deal with the findings. Note that no such items have been found in the subject area in the past, nor have been identified our found anywhere near the subject area.

### Addendum B - Plans

## KSBC Foredune Grading Plan, 2024

Kiwanda Shores Beachfront Collective LLC, (KSBC) representing a group of beachfront homeowners in the Kiwanda Shores development of Pacific City applying for a Foredune Grading Permit by the Tillamook County Planning Department. The grading permit requires that all foredune grading be in compliance with the Pacific City Foredune Management Plan (PCFMP) for sections D and E. This document is to outlines the specifics of the Foredune Grading Plan.

The subject area is the entire beachfront area within the Kiwanda Shores development in Pacific City, Oregon. Here, approximately 40 homes and home sites lie above a stretch of beachfront that is an area of extreme sand movement and accretion, particularly during the winter months. Many thousands of cubic yards pile up with each storm, and without grading the homes in the area would soon be inundated. Grading is required to protect the homes from damage, and to restore views and usability of the home.

Foredune grading in the subject area will be performed primarily during the winter months to avoid excessive accumulation of sand around the homes. Left ungraded during this time, the sand movement and accumulation can cause significant property damage. Grading is typically performed by use of a large excavator which moves sand westward and deposits the excess sand on the foredune downslope. Grading is to be performed across the subject area as needed throughout the winter. As the frequency and severity of the winter storms begin to lessen, typically in the February and March timeframes, finish grading will occur to achieve a foredune profile as outlined in the attached foredune survey profiles. The entire subject area will be graded so that the result is a uniform and naturally flowing dune as indicated in the PCFMP for sections D and E. Upon completion of the finish grading, the planting of sand-stilling beach grasses will occur as per the attached Planting Plan. Furthermore, monitoring of the Foredune and the plantings will be performed per the attached Monitoring Plan.

Grading will be performed to accomplish a uniform dune slope along the subject area as much as is feasible. Grading will be done down to the levels shown in the profiles, which are near to the bottom floor level of the beachfront side of the homes involved. However, in all cases, grading will not be done resulting in a grade below the governing FEMA defined limits plus 4 feet. Since the profiles provided do not detail exact elevations for each homeowner, note that the FEMA elevations and the requirements of the PCFMP are the overriding governing documents, and are to be adhered to in all cases.

It is the objective of this plan to achieve a more stable foredune through this permitted grading and vegetative stabilization over time. Based on history, however, this will take time to achieve, and thus it is expected that at least some grading will need to be performed annually per this plan throughout the 5 year life of the permit. The planting Plan and the Monitoring Plan will follow each grading cycle as outlined above.

It is the intent of this plan and related documents to remain in full compliance of the PCFMP and any and all government mandated rules and regulations. Specifically:

- Under no circumstances will any sand be removed from the beachfront
- Under no circumstances will any grading be performed that brings the elevation of the Foredune below the FEMA V-Zone 100 year plus 4 feet limit
- No sand will be deposited as a result of grading below 12 feet NGVD

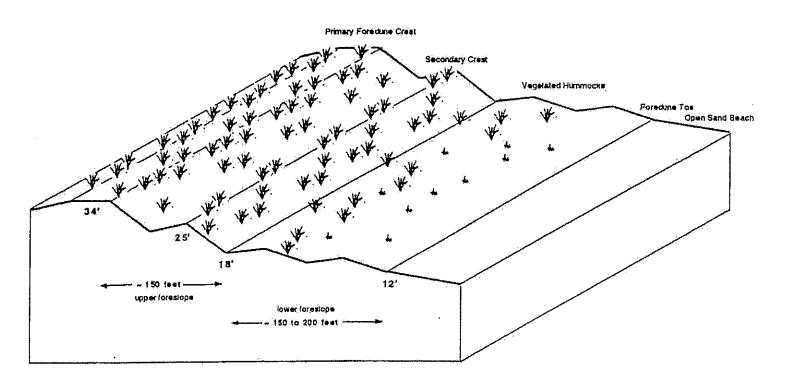


Figure 3. The Pacific City Design Foredune.



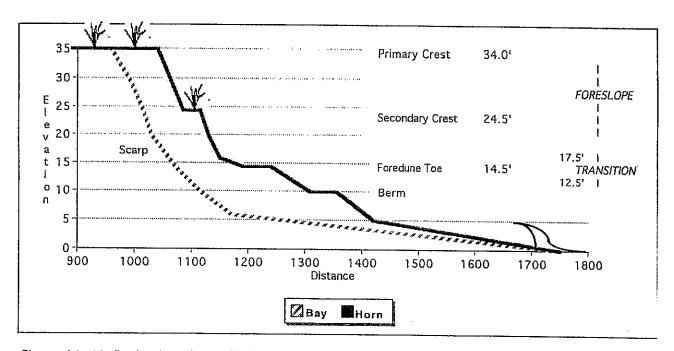


Figure 11. Idealized end member profiles for the Pacific City shoreline.

Elevations and distances are in feet. Terms shown in figure are described in the text.

#### Sand Volume Estimates

	Horiz.	Vertical		Shape %	Linear Ft.	<b>Cubic Feet</b>	Cubic yards
Sect -02	50	2	2	0.5	350	17500	1944
Sect -05	70	4	4	0.75	350	73500	8167
Sect -08	100		5	0.75	350	131250	14583
Sect -11	70	•	5	0.5	475	99750	11083
Sect -17	50	4	1	0.5	300	30000	3333
Sect -20	60	4	7	0.75	350	63000	7000
					2175 Tot	al 415000	46111

# **Construction Value of Project**

Grading \$46,111 Coastway Construction (aprox. \$1 per cubic yard moved)

Planting \$48,450 Josh Venti, Bros with Hoes

Monitoring \$500

Construction Value \$95,061

## KSBC Dune Stabilization Plan, 2024

#### Background:

Kiwanda Shores Beachfront Collective LLC, (KSBC) representing a group of beachfront homeowners in the Kiwanda Shores development of Pacific City applying for a Foredune Grading Permit by the Tillamook County Planning Department. The grading permit requires that all Foredune grading be followed by the planting of dune stabilization vegetation in compliance with the Pacific City Foredune Management Plan (PCFMP).

It is the intent of this plan to follow specifically all the requirements outlined in the Pacific City Foredune Management Plan (PCFMP). Each element of the plan references the associated requirement outlined within the PCFMP. This planting plan applies to Units D and E of the PCFMP. Note that in all material respects as it relates to vegetative stabilization, and related elements of the PCFMP, Units D and E are substantively identical. Therefore, for clarity and simplicity, when referencing specific sections of the PCFMP, this plan will reference the section for Unit E, but note that the corresponding section of Unit D also applies.

#### **Grading and Vegetative Stabilization**

- 1) Upper Portion of Foredune: The proximity of the dwellings to the shoreline limits the ability to encourage outward as opposed to upward growth of the foredune. Efforts to use vegetation to establish a wide foredune in this area are likely to be thwarted by high wave runup and erosion during winter storms. Planting the entire foredune in this area is likely to result in primarily upward growth of the foredune. Therefore, in order to maintain ocean views, the upper portion of the foredune area will remain mostly open sand. No attempt or effort to establish sand-stilling grasses will be made in this area. Also note that foredune grading in this area may be needed on a regular basis and will be done as needed. (PCFMP page 36, paragraph 4).
- 2) An effort will be made to establish stand-stilling grasses along the lower portion of the foredune in the subject area. (PCFMP page 36, paragraph 5). KSBC will plant grasses per the instructions contained within the PCFMP (figures 3) for the subject area. Plantings should occur as soon as practical following grading, but in no case will be planted outside the timing guidelines of the PCFMP (November through April). All plantings will be carried out so as to mimic natural vegetation patterns as much as possible. (PCFMP page 36, paragraph 5).

Figure 1: Plan of Proposed Management Practices from Pacific City Foredune Management Plan, Unit D (PCFMP page 29)

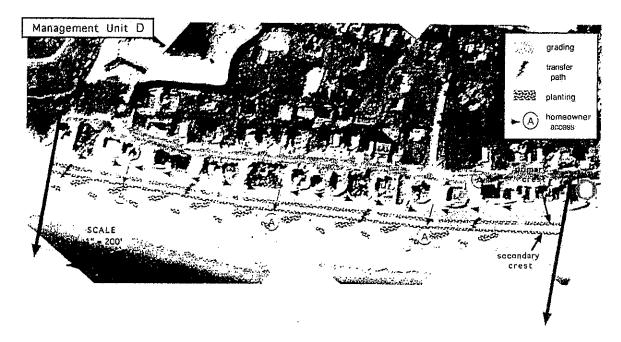
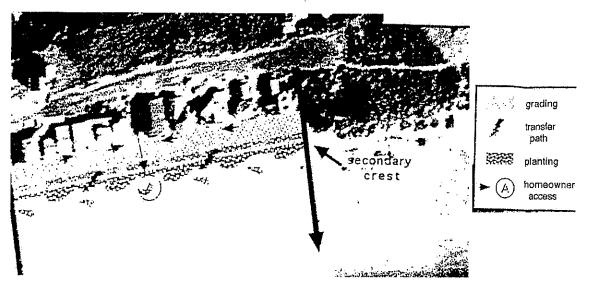


Figure 2: Plan of Proposed Management Practices from Pacific City Foredune Management Plan, Unit E, (PCFMP page 35)



In Figures 1 and 2 above, extracted from the PCFMP, the areas to be planted are shown in the patches of cross-hatched areas on the foredune slope, and in the crosshatched strips along the top edge of the foredune slope. Transfer paths for depositing sand graded from the top areas are shown in dark diagonal strips across the planted areas, and the arrows are meant to depict owner foot traffic paths.

Planting Specifics: Planting densities and plant types will follow, as close as practical to the details outlined in the PCFMP, and indicated below in Figure 3. See Appendix A for representative Planting Quotation per this plan.

Figure 3: Planting management Practices to be followed, per the PCFMP

Along the secondary crest and forestope plant primary grasses (e.g. 80% European Beachgrass and 20% American Dunegrass) at high densities (e.g. hill spacing of 12" with 5 culms per hill) to achieve as much as 60% cover over the area from about 25 feet to 18 feet NGVD in elevation and plant primary grasses (e.g. 80% European Beachgrass and 20% American Dunegrass) at moderate densities (e.g. hill spacing of 18" with 3 culms per hill) to achieve as much as 30% cover over the area from about 18 feet to 14 feet NGVD in elevation. Vegetation planted below an elevation of about 16 feet NGVD is best viewed as sacrificial, in that it may well be lost during winter storms and as a result need to be replanted on a regular basis.

In all cases, planting should be carried out during rainy months (November through April) before and/or after winter storms, when temperatures are between 32 and 60 degrees F and the sand is wet at a 3 inch depth. Preferably immediately after planting, fertilize with ammonium sulfate fertilizer (N-P-K:21-0-0) at a rate of ~200 - 400 pounds per acre, with follow up fertilization again in the subsequent late fall or early spring rainy period (after SCS, 1991).

#### **Access Management**

Attempts will be made to limit foot traffic and subsequent damage to the planted areas of both recreational users and homeowners and their guests. Signs will be posted, and access paths through the planted area will be identified if necessary. Where feasible, driftwood logs may be relocated from the beach area to the planted area to block foot traffic and to provide additional dune stabilization.

#### Monitoring and Maintenance:

Such plantings will be monitored per the Monitoring Plan proposal outlined in Appendix B. A quarterly report will be generated and provided to both OPRD and Tillamook County Planning Department officials

Depending upon the success or failure of the plantings per this plan, modifications and/or replanting will be done, still within the specifications of the PCFMP. Maintenance of the planted area will be performed as needed to provide the best opportunity of successfully establishing the stand-stilling grasses. Exact maintenance measures will be determined based upon the success and failure of the initial planted area. It is expected that based upon the results of the initial planting, some elements of the planting plan may need to be modified such that best efforts are made to find a successful strategy, while still working within the guidelines outlined in the PCFMP. If a successful planting strategy cannot be developed and proven, then an exception to Goal 18 may be sought.

## KSBC Monitoring Plan, 2024

Kiwanda Shores Beachfront Collective LLC, (KSBC) representing a group of beachfront homeowners in the Kiwanda Shores development of Pacific City applying for a Foredune Grading Permit by the Tillamook County Planning Department. The grading permit requires that all foredune grading be followed by the planting of dune stabilization vegetation in compliance with the Pacific City foredune Management Plan (PCFMP). Further, a monitoring plan is to be developed and followed to assure compliance with the grading and vegetative stabilization plantings throughout the period of the permit. This document is to outline the specifics of the monitoring plan.

Periodic monitoring of the Kiwanda Shores Beachfront will occur with the goal of assuring compliance with the Foredune Grading Permit. Specifically, monitoring will be performed and reported as follows:

- 1) On site observation of the beachfront will occur not less than twice per year. Timing of the site visits will be at least once in the fall to observe and record how the subject area dune profiles have shifted or changed since the last grading event, and to document the status of the sand-stilling grasses that were planted in the spring to stabilize the foredune.
- 2) Observations will be recorded and summarized in a Monitoring report to be provided to the KSBC and will be made available to the Tillamook County Department of Community Development and the state OPRD as required or upon request.
- 3) All observations outlined here-in shall be done in person by the person in charge
- 4) Such Observations shall include, at a minimum:
  - a. Photos of the beachfront showing the overall status of the foredune
  - b. Written description of any significant changes in dune profile
  - c. Written description of any significant changes in the health and status of the beach grasses planted for sand stabilization

The Monitoring Agent will specifically note and report on any grading variances that exist from the Grading Plan outlined in Addendum B1. Such grading variances that will be considered out of compliance would be grading that extends below the specified elevations, grading that does not create a uniform and natural foredune structure, or grading that otherwise does not conform to the PCFMP.

The Monitoring Agent will also report on the progress and success or failure of the planting of sand-stilling grasses as outlined in the Planting Plan, Addendum B2. As has been noted herein, and in the PCFMP, the subject area has historically had difficulties with long term establishment of beach grass along the foredune. Still, there is an expectation that over time and through diligent efforts, grasses will continue to be established primarily on the southern end of the subject area, and should extend northward over time. Regardless, the Monitoring Agent will report on the success or failures of these efforts.

Monitoring shall be done by a Monitoring Agent. The Monitoring Agent shall be a third party, independent observer, and will have experience with monitoring and reporting on land processes. The Monitoring Agent shall be responsible for all specified documentation as outlined above. The Monitoring Agent may change periodically through the life of the Grading Permit, but any such change will be done so as to provide continuity in monitoring.

The initial Monitoring Agent shall be as follows:

Bayside Surveying LLC 6723 South Prairie Road Tillamook, OR 97141 P: 503-842-5551

https://www.baysidesurveyingllc.com

Bayside Surveying has been in business in the Tillamook area for over 30 years and has provided surveying services with cutting edge technology. Their ability to provide independent and knowledgeable monitoring of the subject area make them a perfect fit for this project. They are completely independent of KSBC, with no direct ownership or interest in any properties within the subject area.

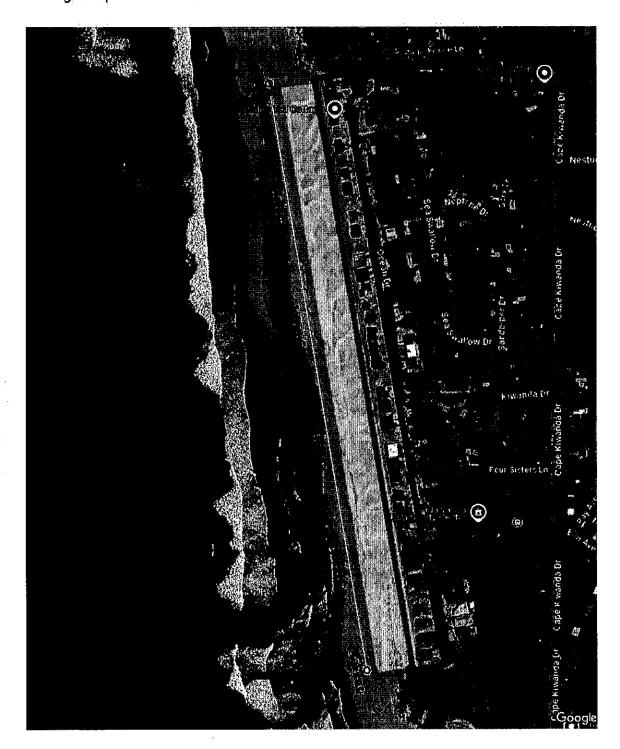
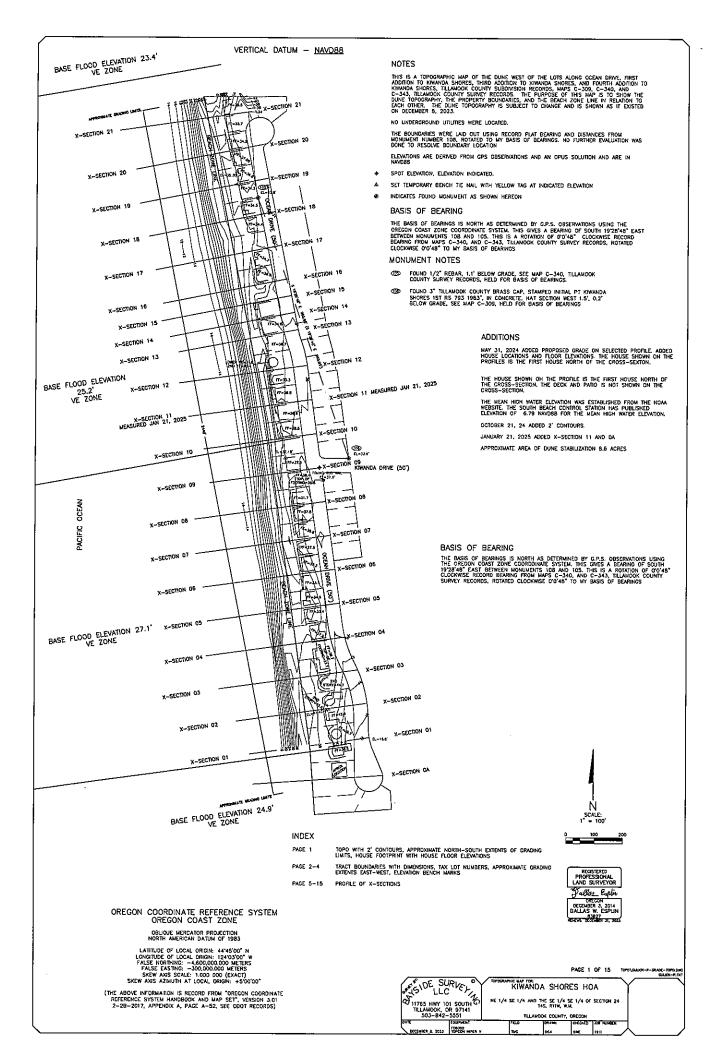
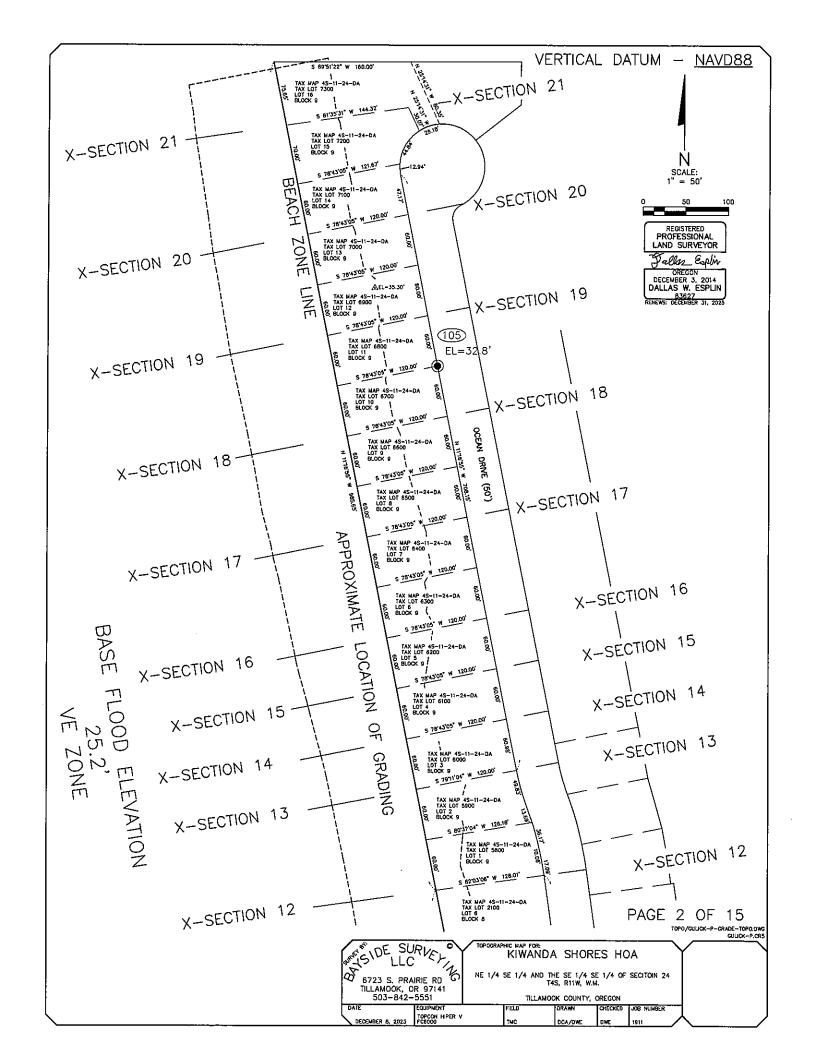
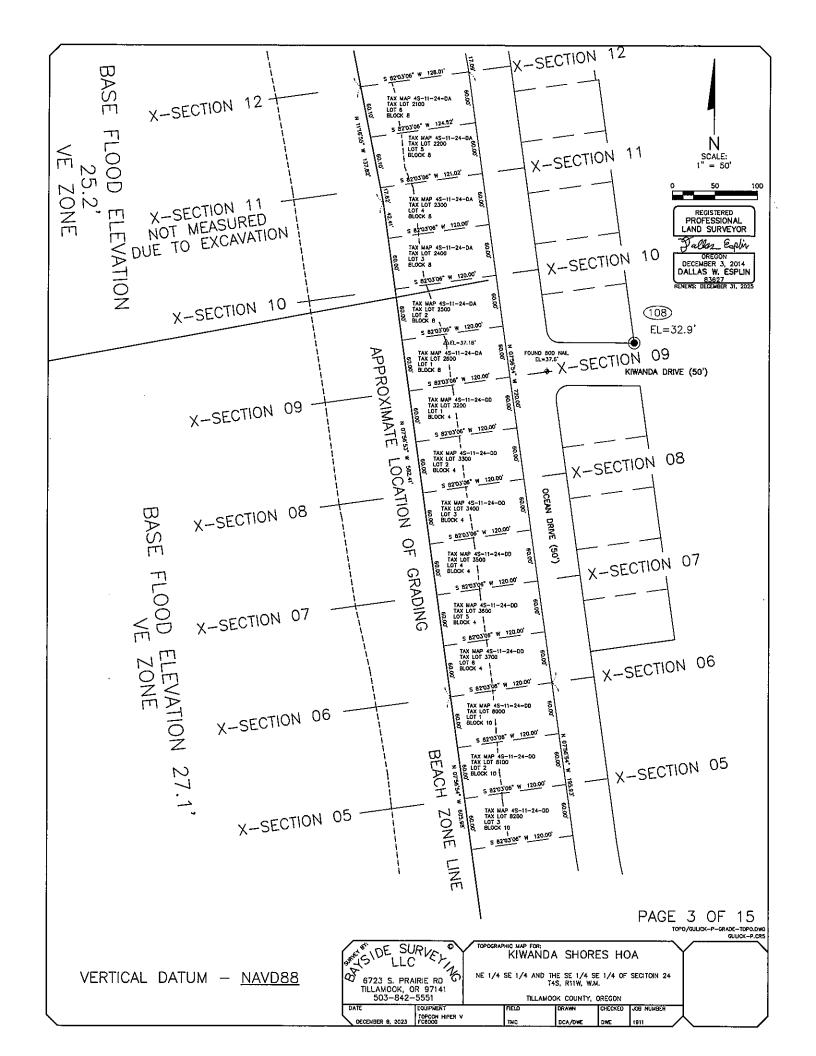
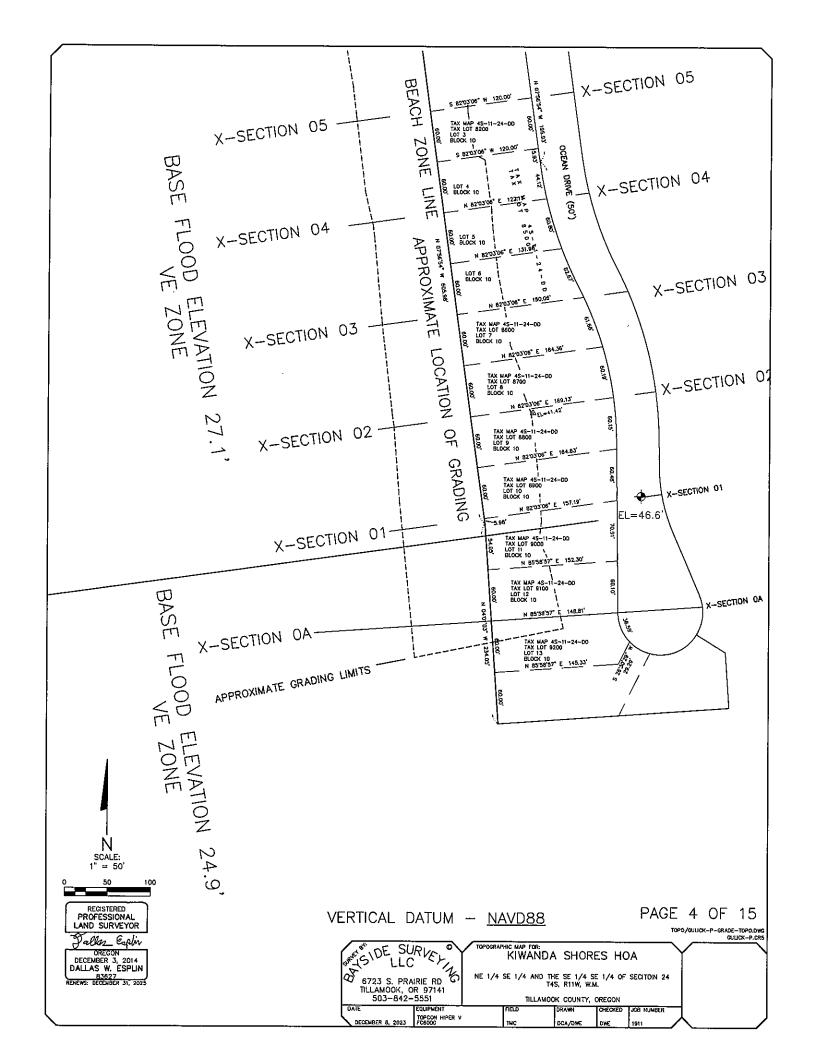


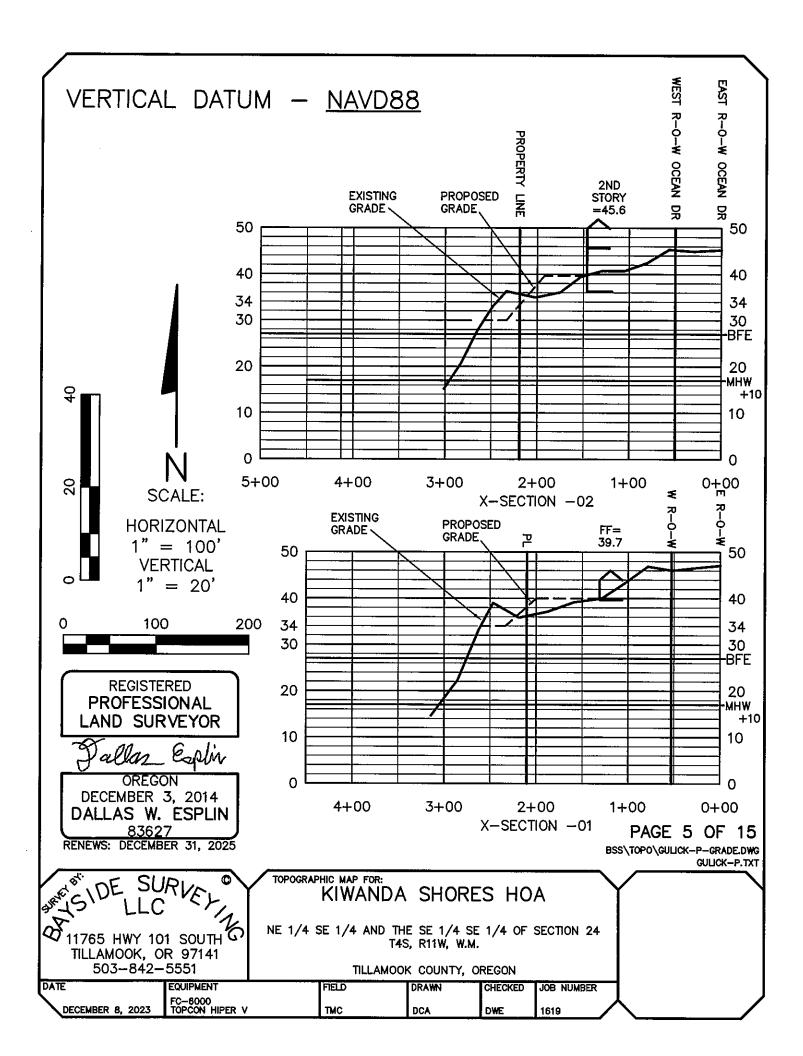
Figure 1

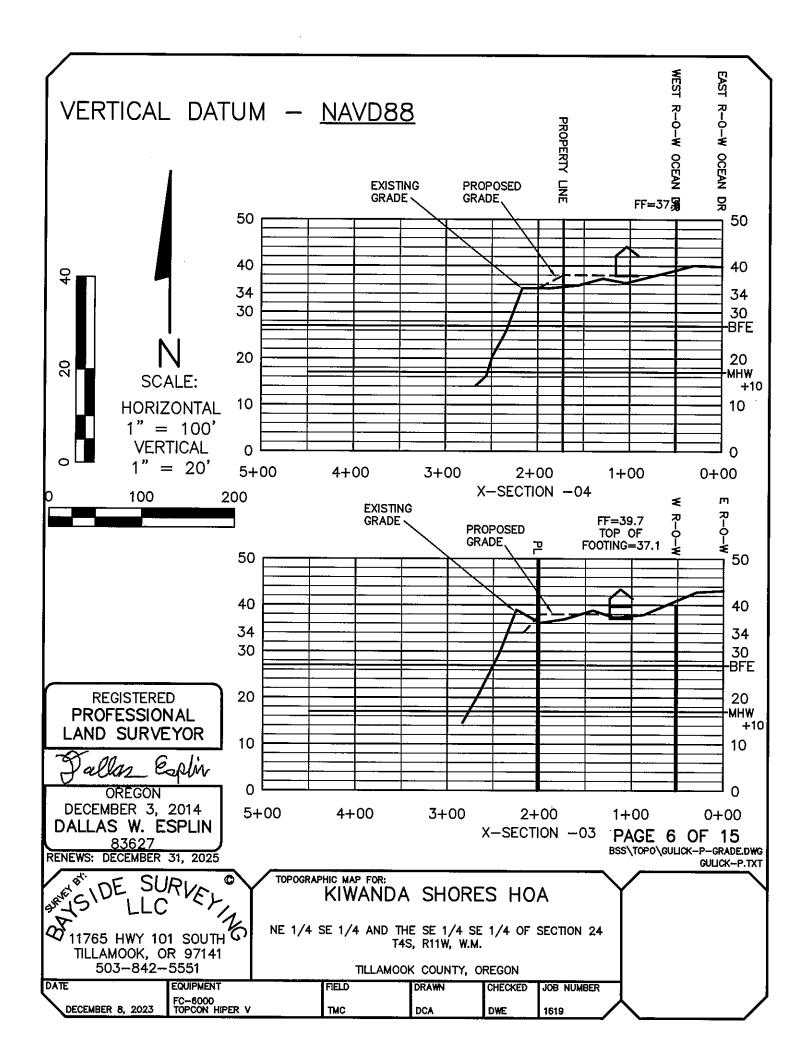


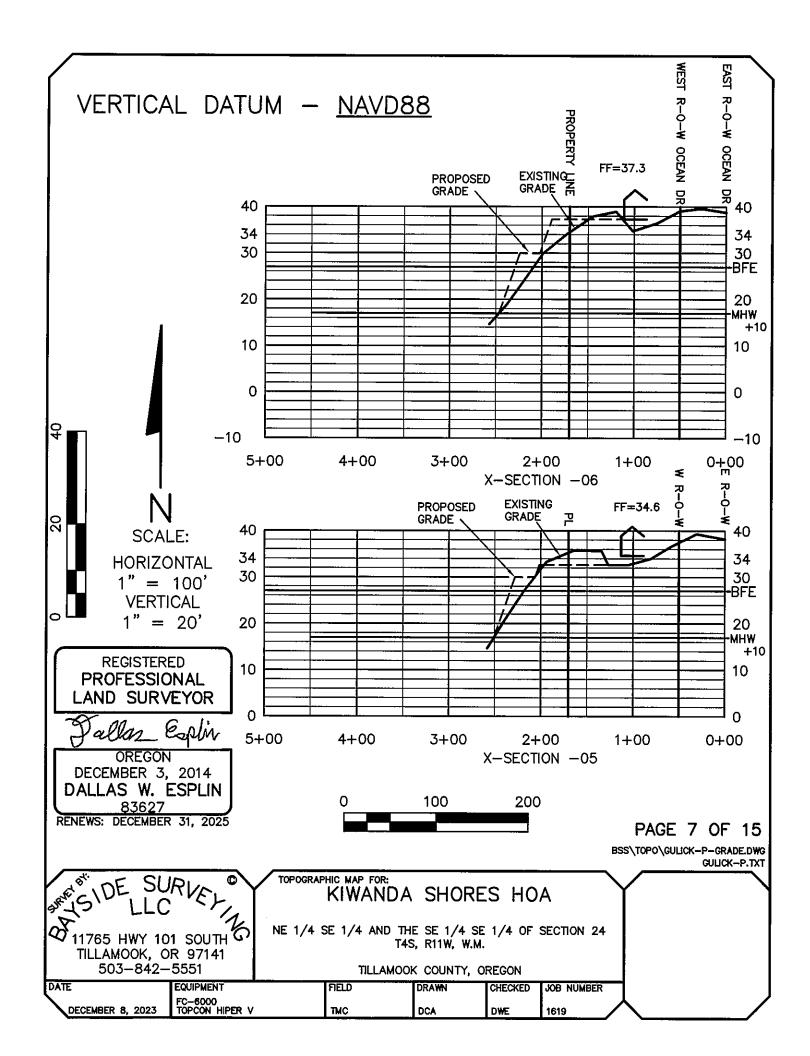


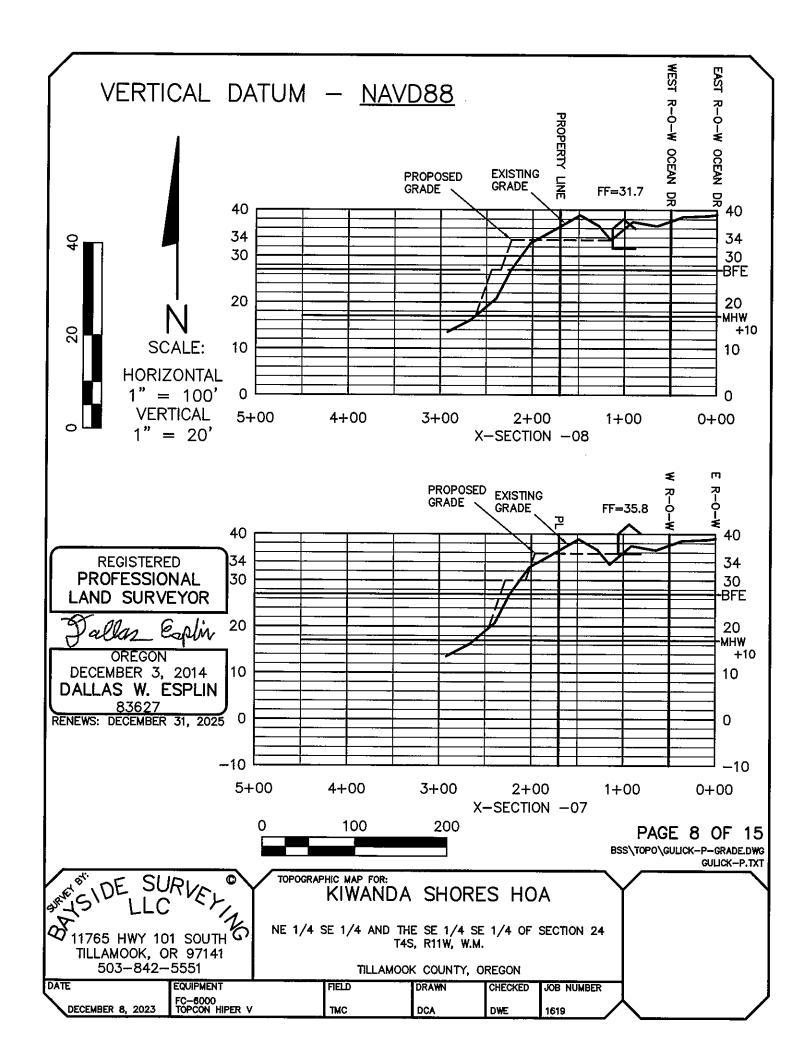


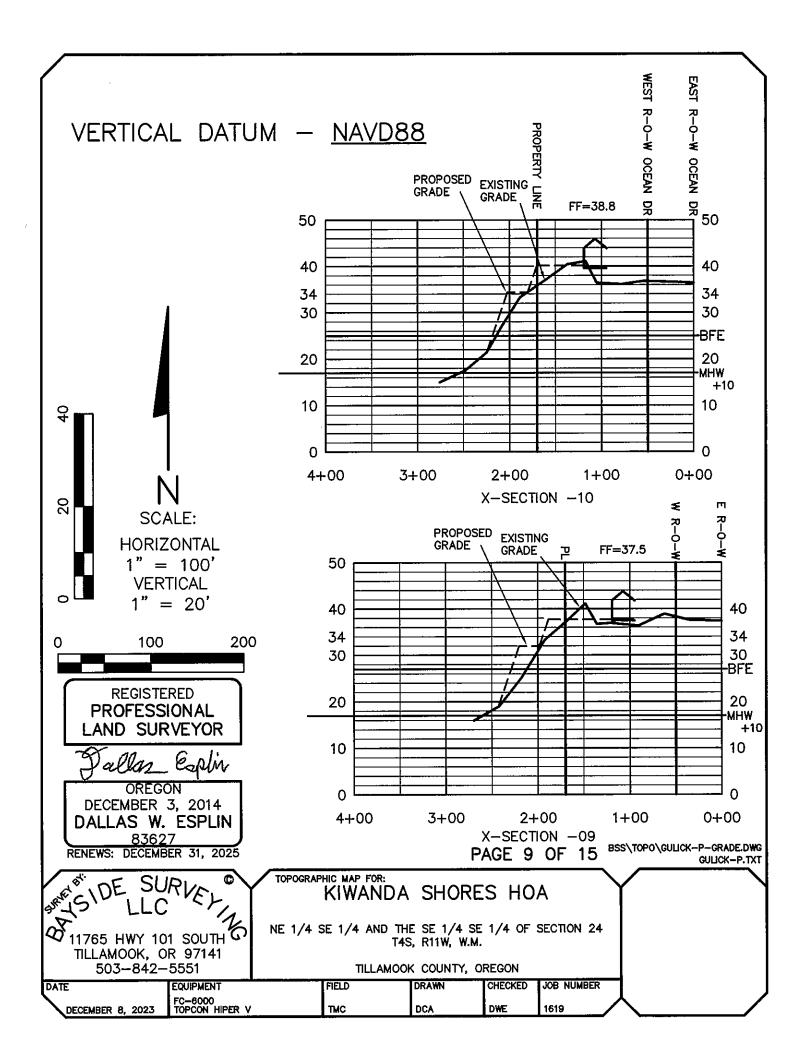


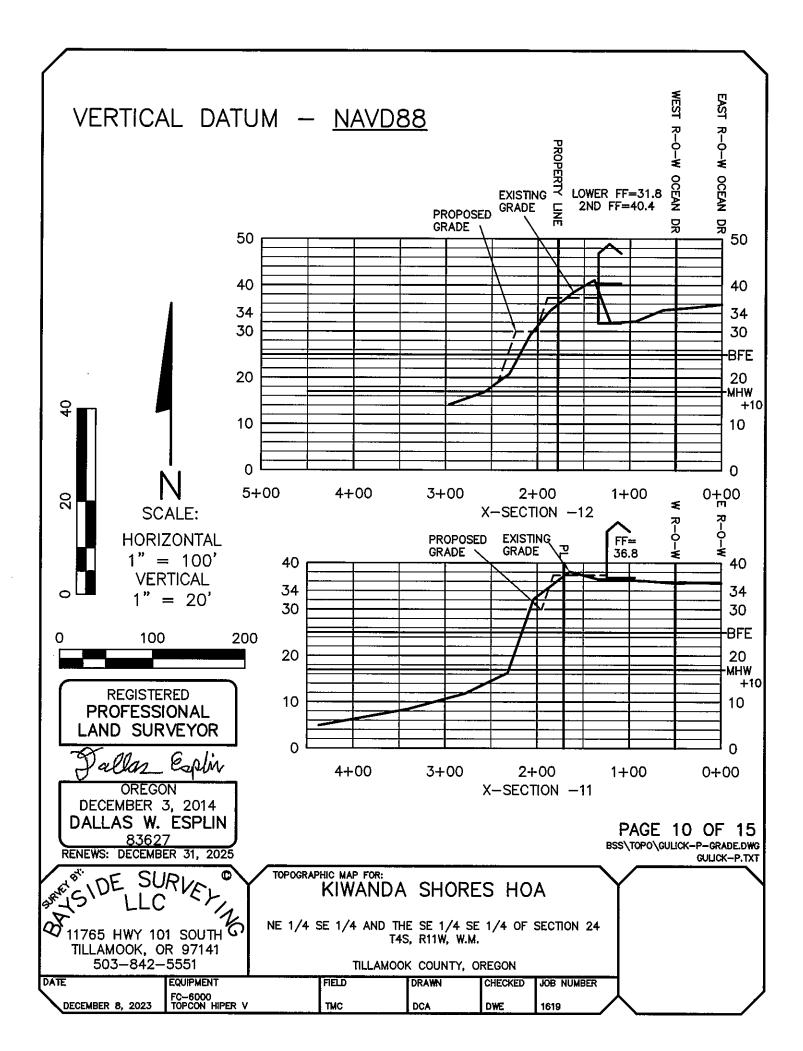


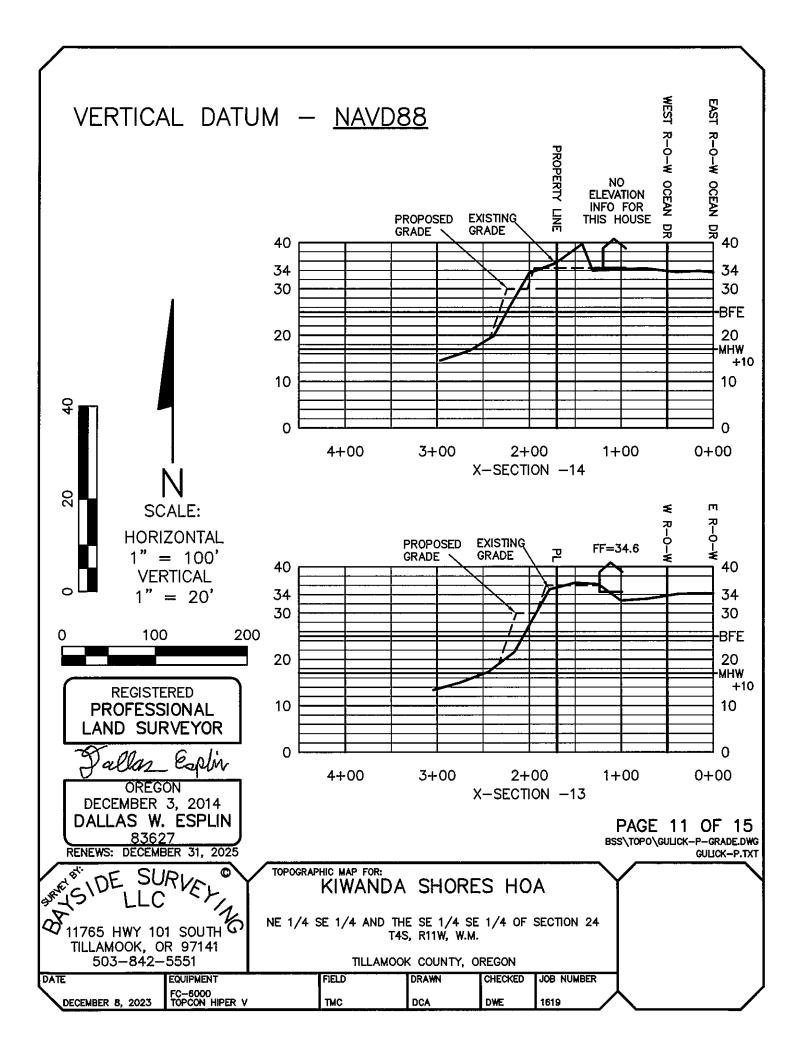


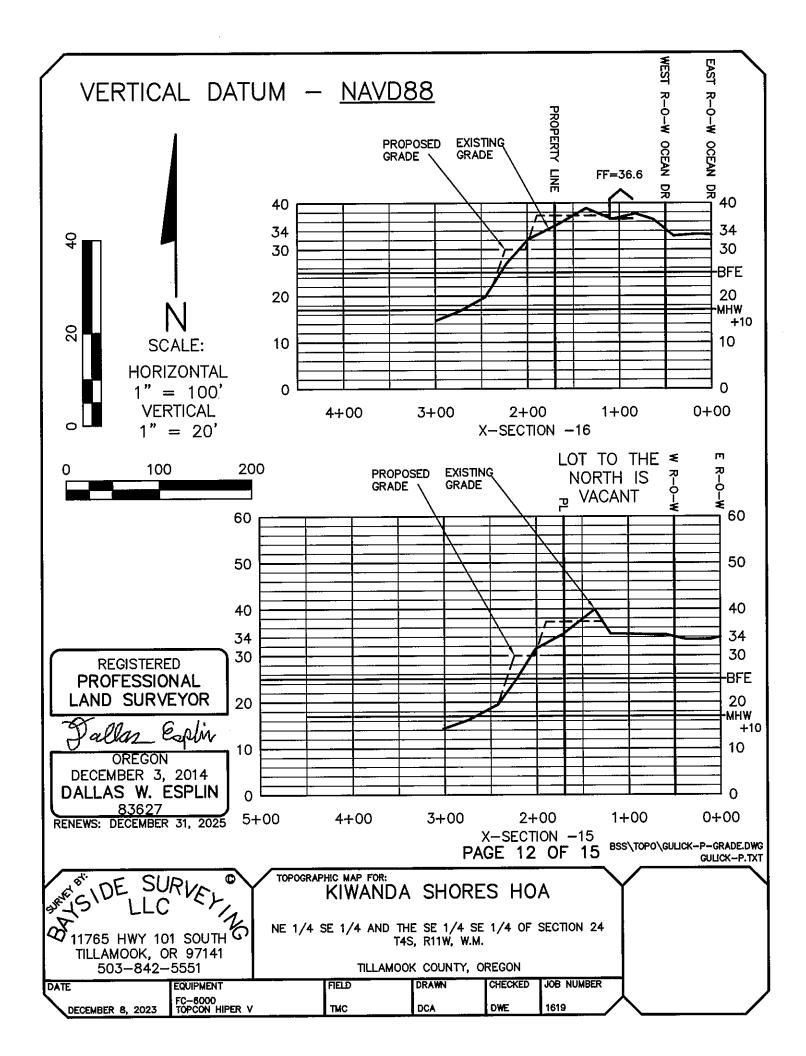


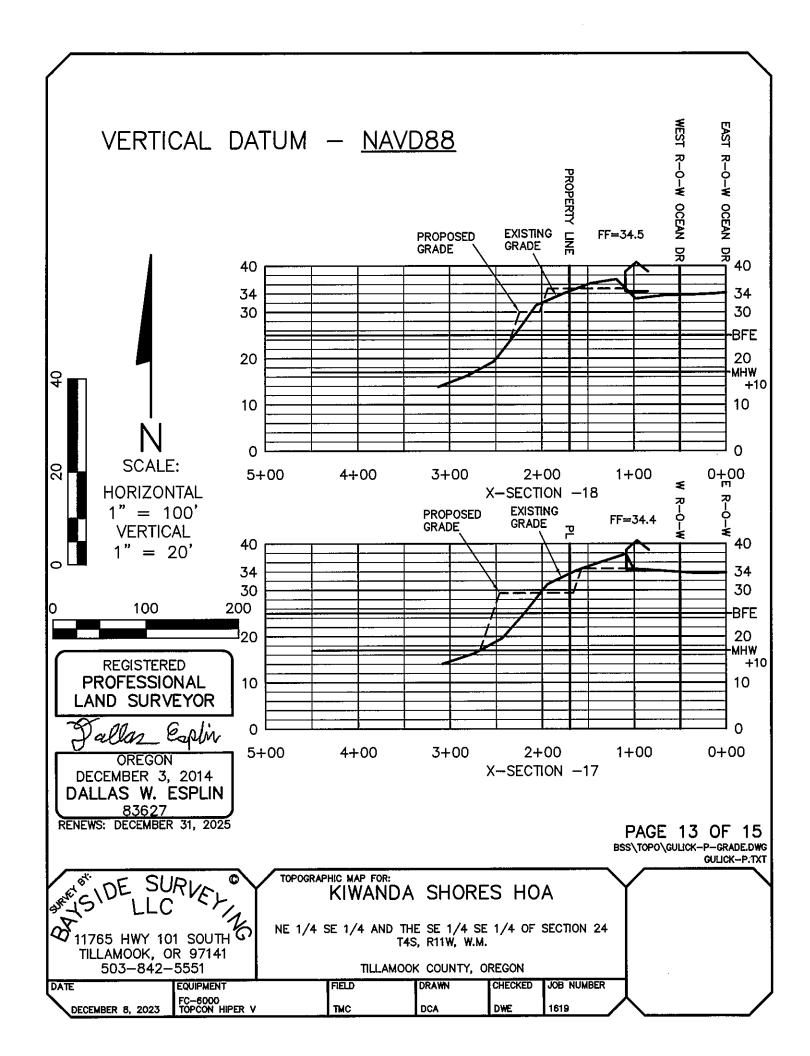


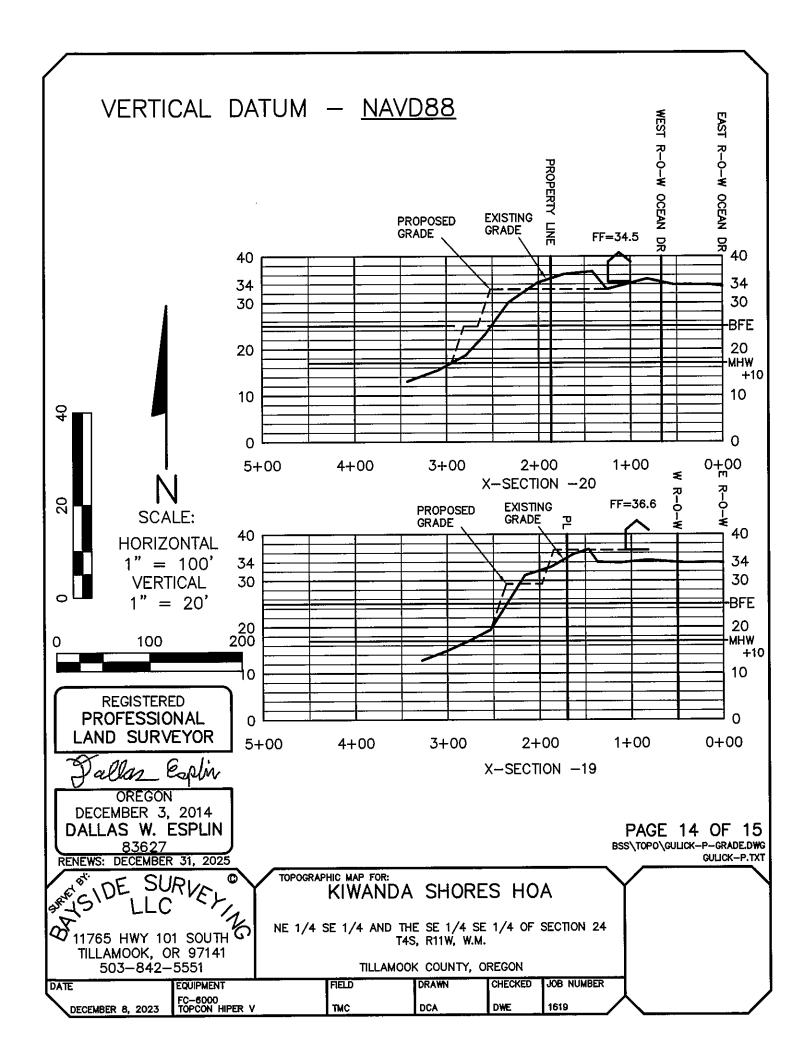


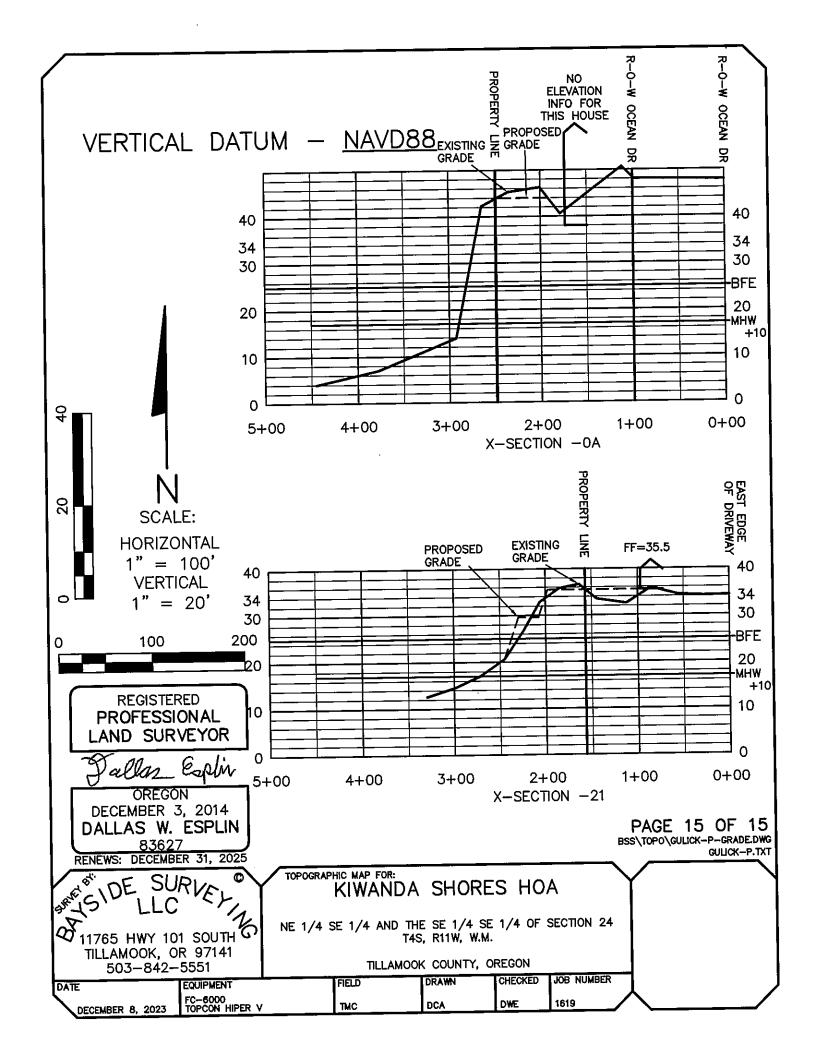












# INITIAL APPLICATION RECEIVED NOVEMBER 6, 2024

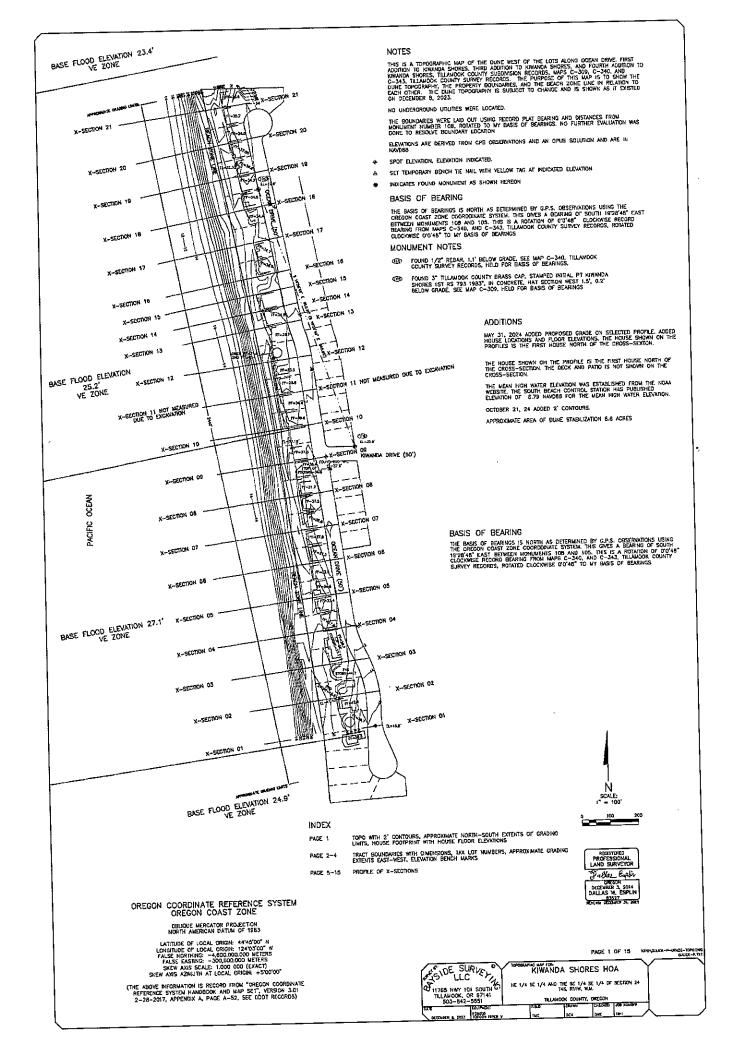
# FOREDUNE GRADING PERMIT APPLICATION

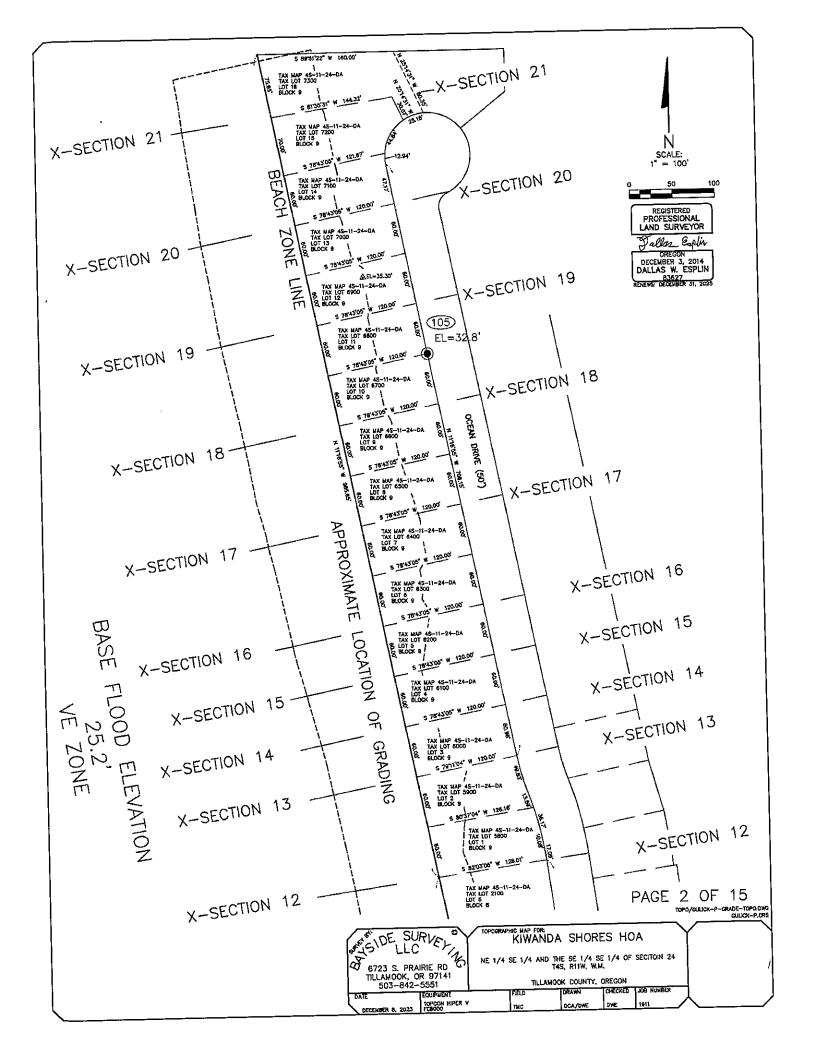
TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT (Please remit fees with the completed application)

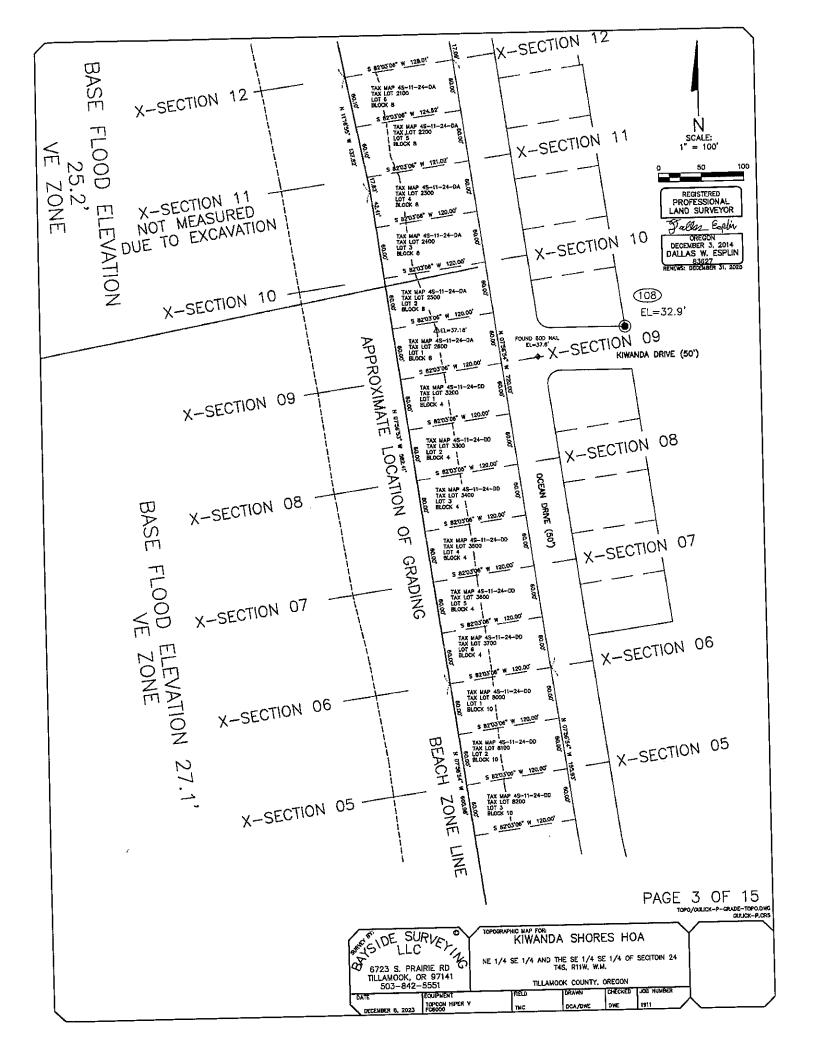
(1 10000 TOTAL TO	S.Willis Groundstrip								
1-24-000566-PLNG	NOV 0 6 2024								
Date Received:	BA:DGD 9	Receipt #:							
PROPERTY OWNER: Kiwanda Shores Be Multiple Owners	eachfront Collective, P.	aul Gulick (Applicant) PHONE:503-709-3813							
ADDRESS:_24727 SW Stafford RdCIT	Y:TualatinS	TATE:ORZIP:97062							
<ol> <li>LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.</li> </ol>									
Township4SRange	1Section	_24Tax LotMultiple							
ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR:  3400 to 34900 Ocean Drive, Pacific City, OR 97135									
3. FOREDUNE MANAGEMENT SUBAREA PLAN:Management Units D and E									
4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:									
<ul> <li>a. Description of the proposed work, including location and timing of activities, and equipment to be used;</li> <li>b. Plan view and elevations of existing conditions in the grading area;</li> <li>c. Plan view and elevations of proposed modifications in the grading area; and</li> <li>d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.</li> </ul>									
I certify that all dune management activities Plan and subarea plan identified above. The Management Plan and the conditions permit and citation.	understand that fallul	6 fo collinia Milli file reddirections							
I certify that the information contained in and accurate. I further certify that I posse I will obtain necessary Oregon Parks and activities described herein.	Recreation Departme	deligke the activities described herein.							
Signature of Applicant									
This permit is Valid Only with Tillamook County Approval Stamp Below									

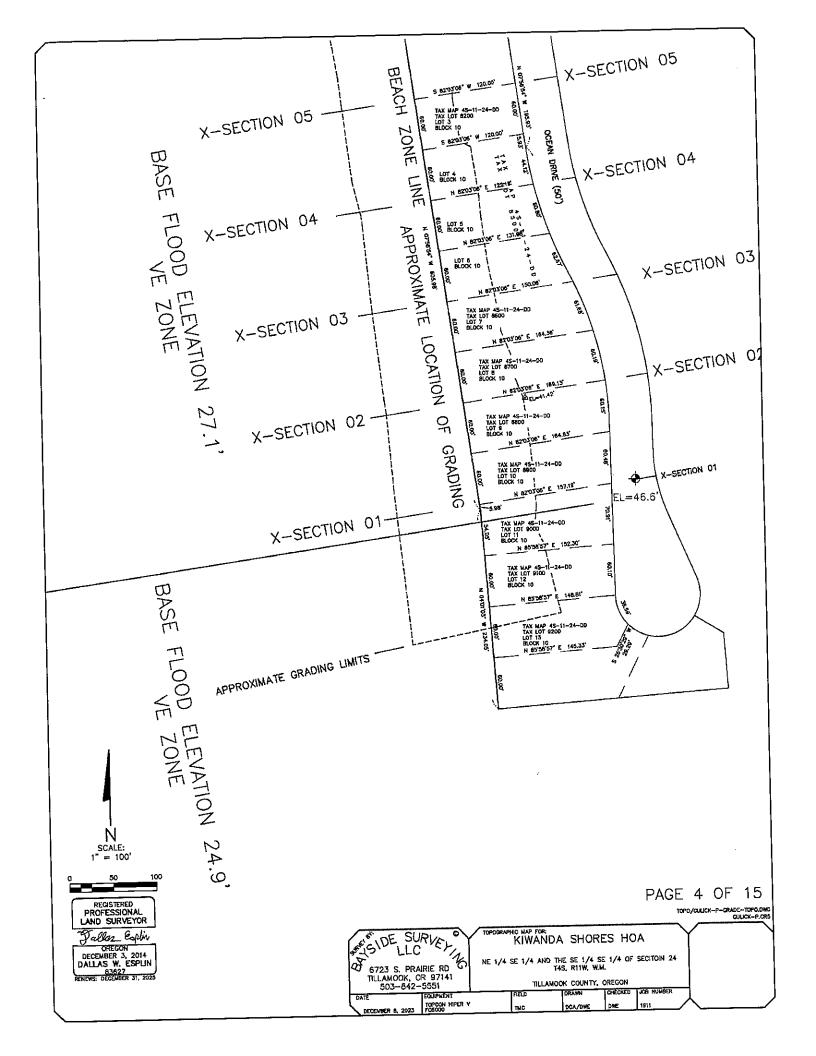


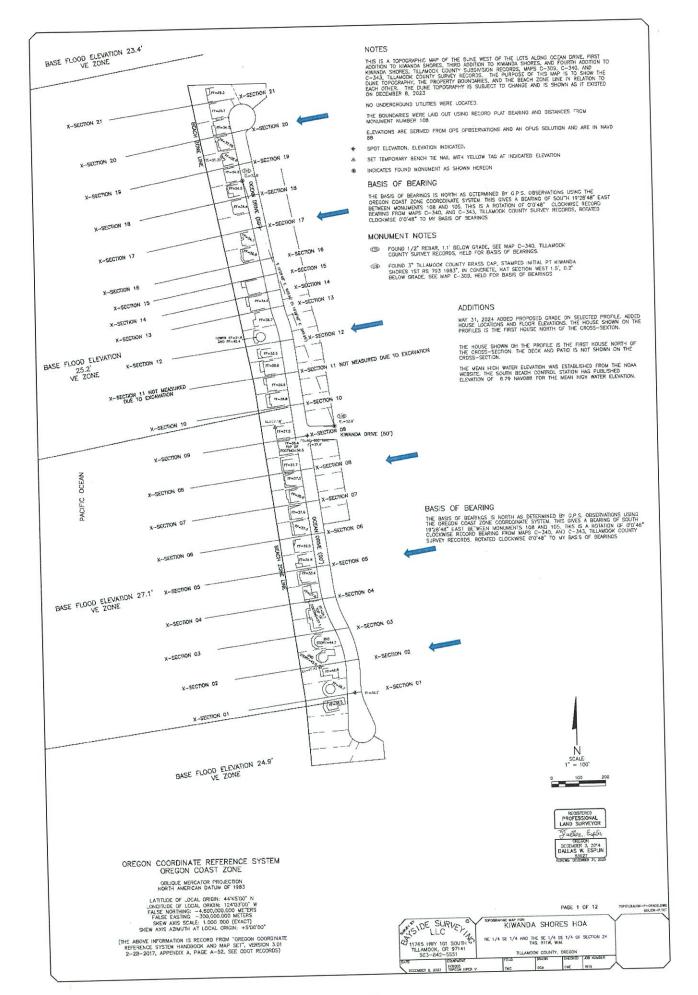
Figure 1











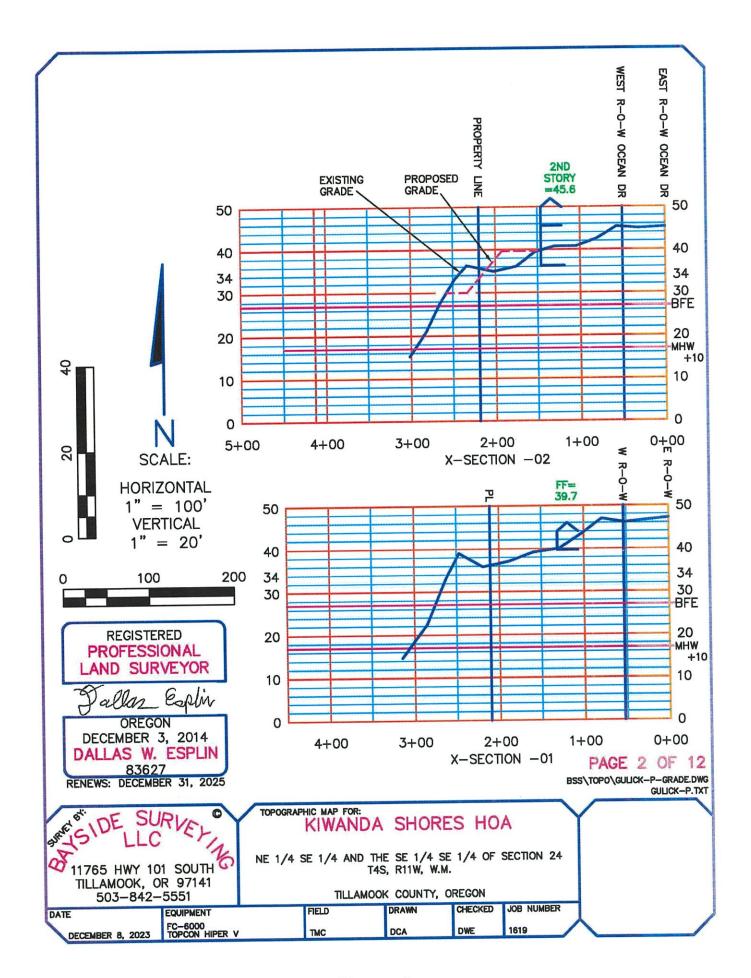


Figure 4

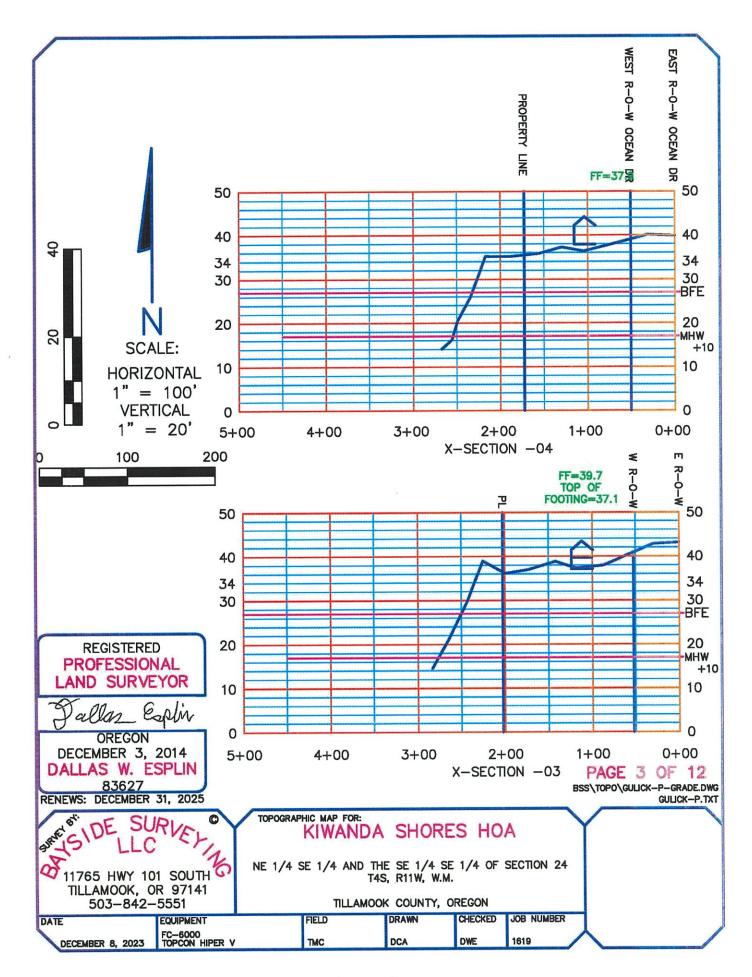


Figure 5

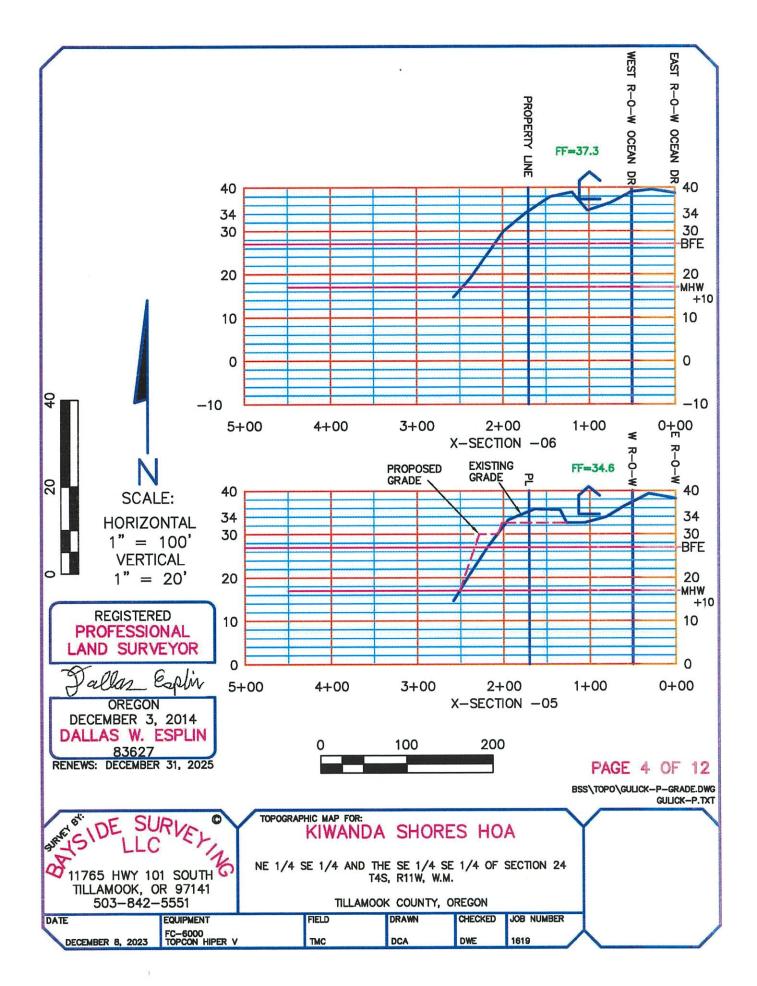


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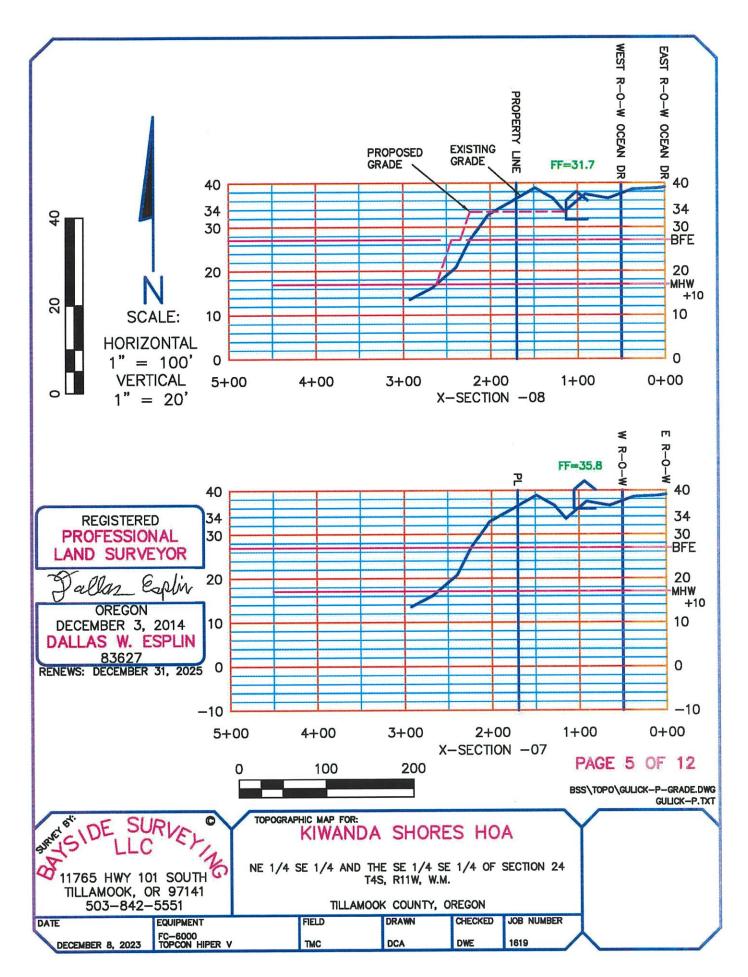


Figure 7

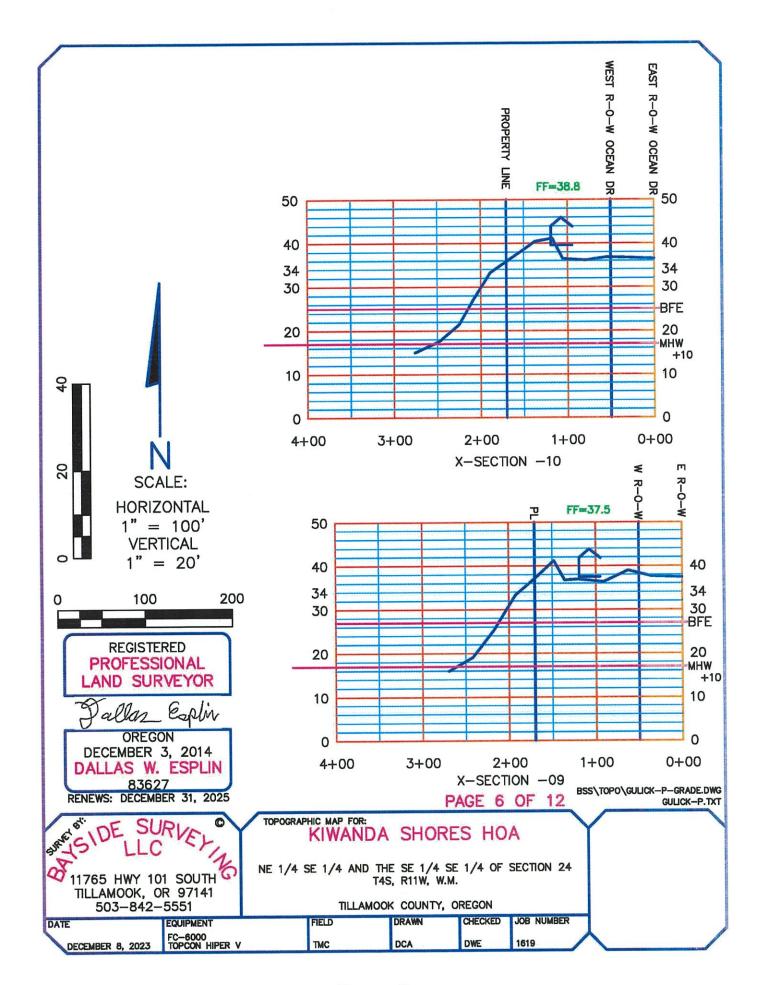


Figure 8

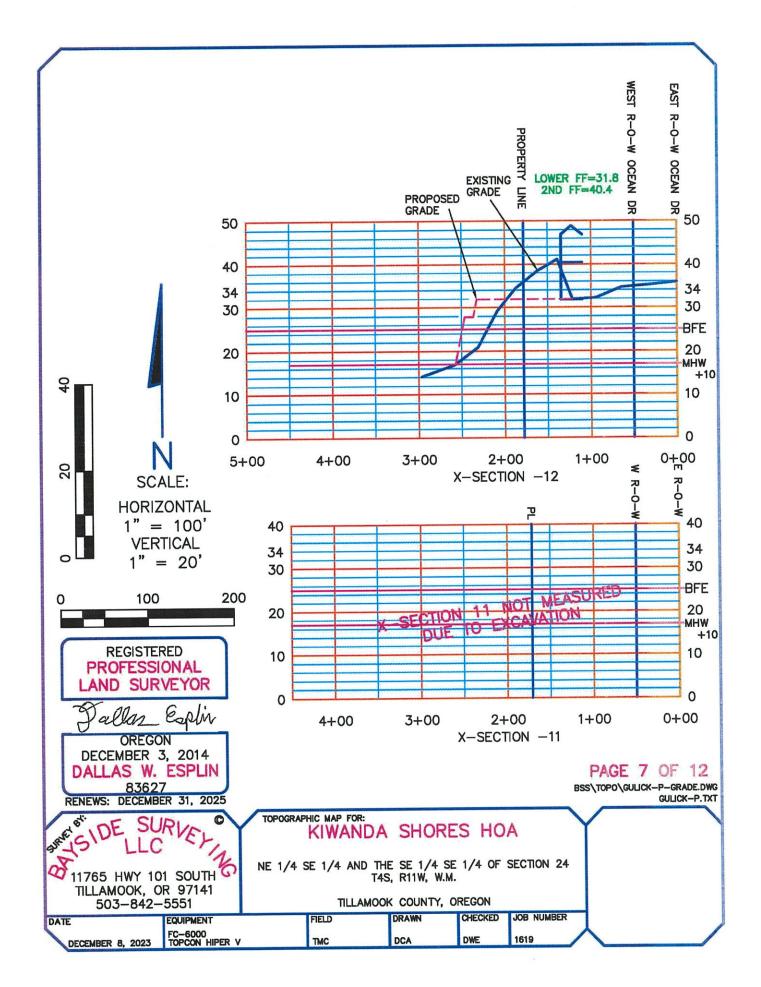


Figure 9

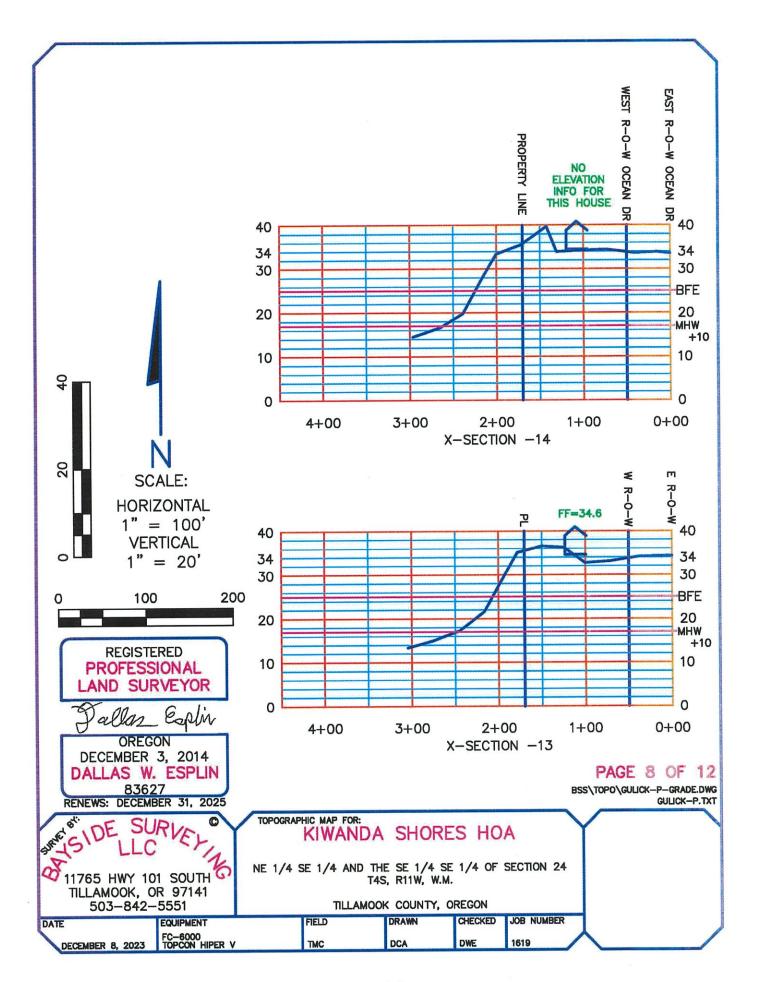


Figure 10

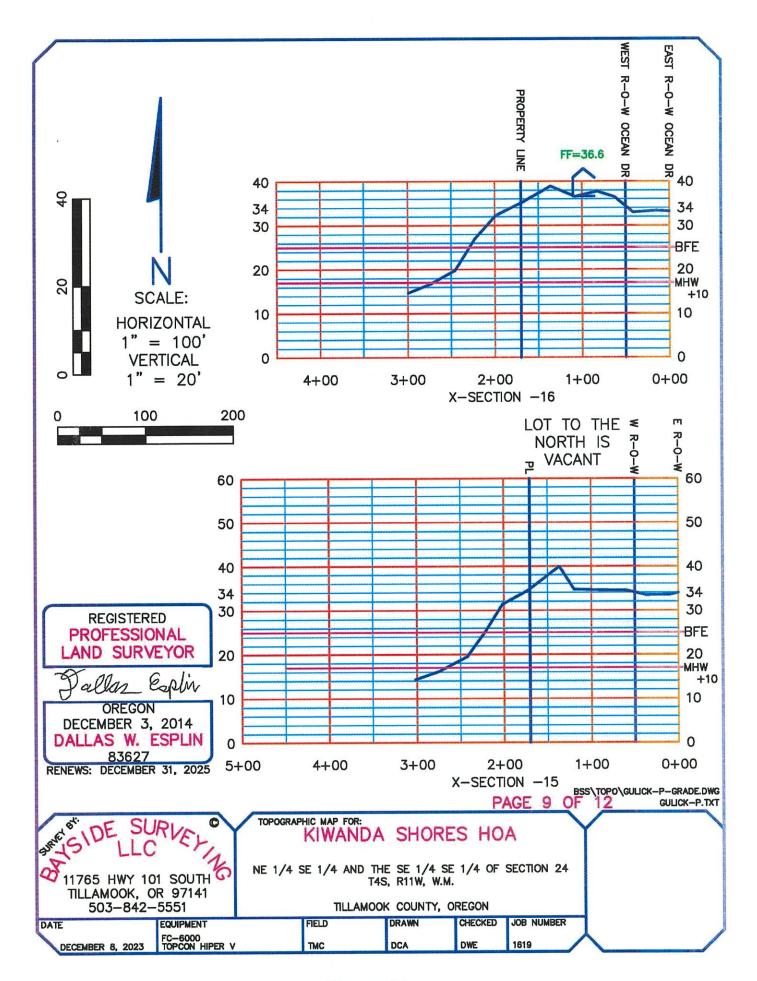


Figure 11

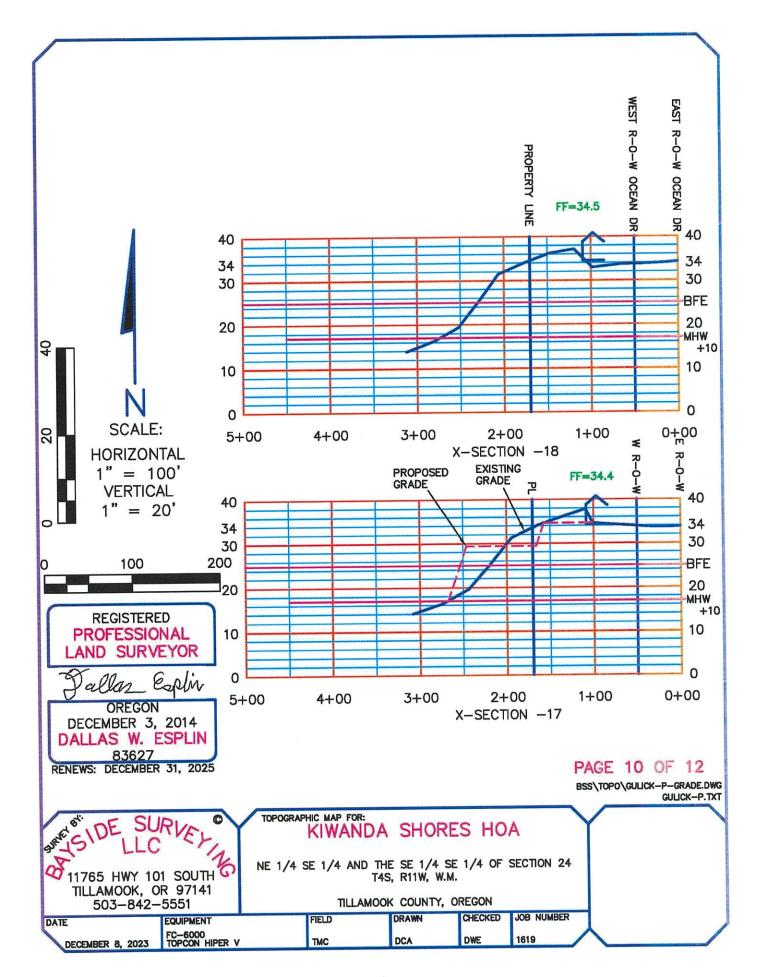


Figure 12

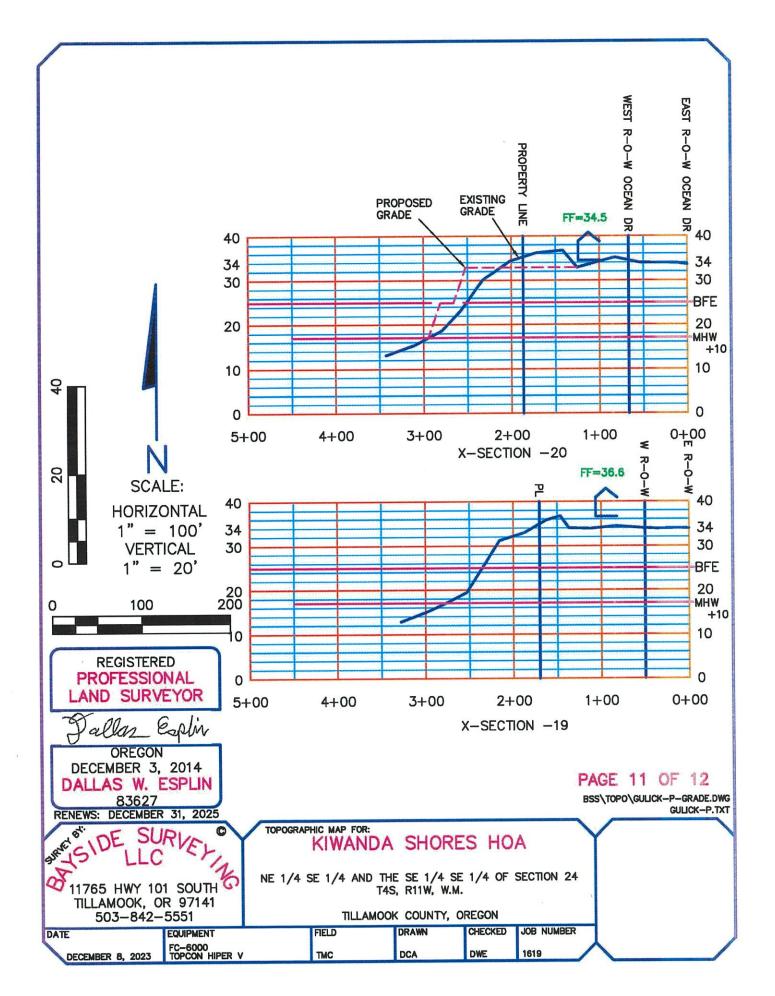


Figure 13

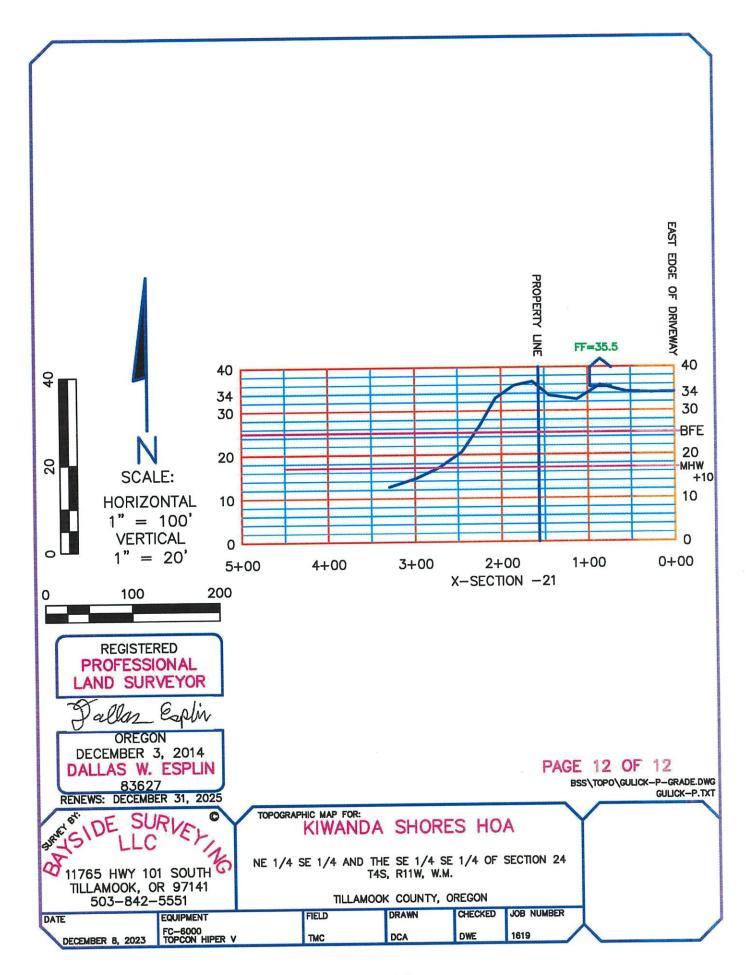


Figure 14

#### KSBC Monitoring Plan, 2024

Kiwanda Shores Beachfront Collective LLC, (KSBC) representing a group of beachfront homeowners in the Kiwanda Shores development of Pacific City applying for a Foredune Grading Permit by the Tillamook County Planning Department. The grading permit requires that all foredune grading be followed by the planting of dune stabilization vegetation in compliance with the Pacific City foredune Management Plan (PCFMP). Further, a monitoring plan is to be developed and followed to assure compliance with the grading and vegetative stabilization plantings throughout the period of the permit. This document is to outline the specifics of the monitoring plan.

Periodic monitoring of the Kiwanda Shores Beachfront will occur with the goal of assuring compliance with the Foredune Grading Permit. Specifically, monitoring will be performed and reported as follows:

- 1) On site observation of the beachfront will occur not less than twice per year. Timing of the site visits will be at least once in the fall to observe and record how the subject area dune profiles have shifted or changed since the last grading event, and to document the status of the sand-stilling grasses that were planted in the spring to stabilize the foredune.
- 2) Observations will be recorded and summarized in a Monitoring report to be provided to the KSBC and will be made available to the Tillamook County Department of Community Development and the state OPRD as required or upon request.
- 3) All observations outlined here-in shall be done in person by the person in charge
- 4) Such Observations shall include, at a minimum:
  - a. Photos of the beachfront showing the overall status of the foredune
  - b. Written description of any significant changes in dune profile
  - c. Written description of any significant changes in the health and status of the beach grasses planted for sand stabilization

The Monitoring Agent will specifically note and report on any grading variances that exist from the Grading Plan outlined in Addendum B1. Such grading variances that will be considered out of compliance would be grading that extends below the specified elevations, grading that does not create a uniform and natural foredune structure, or grading that otherwise does not conform to the PCFMP.

The Monitoring Agent will also report on the progress and success or failure of the planting of sand-stilling grasses as outlined in the Planting Plan, Addendum B2. As has been noted herein, and in the PCFMP, the subject area has historically had difficulties with long term establishment of beach grass along the foredune. Still, there is an expectation that over time and through diligent efforts, grasses will continue to be established primarily on the southern end of the subject area, and should extend northward over time. Regardless, the Monitoring Agent will report on the success or failures of these efforts.

Monitoring shall be done by a Monitoring Agent. The Monitoring Agent shall be a third party, independent observer, and will have experience with monitoring and reporting on land processes. The Monitoring Agent shall be responsible for all specified documentation as outlined above. The Monitoring Agent may change periodically through the life of the Grading Permit, but any such change will be done so as to provide continuity in monitoring.

The initial Monitoring Agent shall be as follows:

Bayside Surveying LLC 6723 South Prairie Road Tillamook, OR 97141 P: 503-842-5551 https://www.baysidesurveyingllc.com

Bayside Surveying has been in business in the Tillamook area for over 30 years and has provided surveying services with cutting edge technology. Their ability to provide independent and knowledgeable monitoring of the subject area make them a perfect fit for this project. They are completely independent of KSBC, with no direct ownership or interest in any properties within the subject area.

## KSBC Dune Stabilization Plan, 2024

#### Background:

Kiwanda Shores Beachfront Collective LLC, (KSBC) representing a group of beachfront homeowners in the Kiwanda Shores development of Pacific City applying for a Foredune Grading Permit by the Tillamook County Planning Department. The grading permit requires that all Foredune grading be followed by the planting of dune stabilization vegetation in compliance with the Pacific City Foredune Management Plan (PCFMP).

It is the intent of this plan to follow specifically all the requirements outlined in the Pacific City Foredune Management Plan (PCFMP). Each element of the plan references the associated requirement outlined within the PCFMP. This planting plan applies to Units D and E of the PCFMP. Note that in all material respects as it relates to vegetative stabilization, and related elements of the PCFMP, Units D and E are substantively identical. Therefore, for clarity and simplicity, when referencing specific sections of the PCFMP, this plan will reference the section for Unit E, but note that the corresponding section of Unit D also applies.

#### **Grading and Vegetative Stabilization**

- 1) Upper Portion of Foredune: The proximity of the dwellings to the shoreline limits the ability to encourage outward as opposed to upward growth of the foredune. Efforts to use vegetation to establish a wide foredune in this area are likely to be thwarted by high wave runup and erosion during winter storms. Planting the entire foredune in this area is likely to result in primarily upward growth of the foredune. Therefore, in order to maintain ocean views, the upper portion of the foredune area will remain mostly open sand. No attempt or effort to establish sand-stilling grasses will be made in this area. Also note that foredune grading in this area may be needed on a regular basis and will be done as needed. (PCFMP page 36, paragraph 4).
- 2) An effort will be made to establish stand-stilling grasses along the lower portion of the foredune in the subject area. (PCFMP page 36, paragraph 5). KSBC will plant grasses per the instructions contained within the PCFMP (figures 3) for the subject area. Plantings should occur as soon as practical following grading, but in no case will be planted outside the timing guidelines of the PCFMP (November through April). All plantings will be carried out so as to mimic natural vegetation patterns as much as possible. (PCFMP page 36, paragraph 5).

Figure 1: Plan of Proposed Management Practices from Pacific City Foredune Management Plan, Unit D (PCFMP page 29)

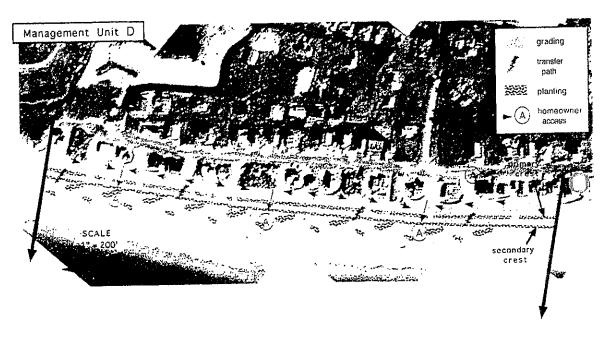
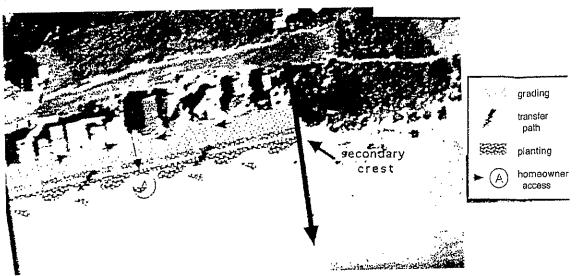


Figure 2: Plan of Proposed Management Practices from Pacific City Foredune Management Plan, Unit E, (PCFMP page 35)



In Figures 1 and 2 above, extracted from the PCFMP, the areas to be planted are shown in the patches of cross-hatched areas on the foredune slope, and in the crosshatched strips along the top edge of the foredune slope. Transfer paths for depositing sand graded from the top areas are shown in dark diagonal strips across the planted areas, and the arrows are meant to depict owner foot traffic paths.

Planting Specifics: Planting densities and plant types will follow, as close as practical to the details outlined in the PCFMP, and indicated below in Figure 3. See Appendix A for representative Planting Quotation per this plan.

Figure 3: Planting management Practices to be followed, per the PCFMP

Along the secondary crest and foreslope plant primary grasses (e.g. 80% European Beachgrass and 20% American Dunegrass) at high densities (e.g. hill spacing of 12" with 5 culms per hill) to achieve as much as 60% cover over the area from about 25 feet to 18 feet NGVD in elevation and plant primary grasses (e.g. 80% European Beachgrass and 20% American Dunegrass) at moderate densities (e.g. hill spacing of 18" with 3 culms per hill) to achieve as much as 30% cover over the area from about 18 feet to 14 feet NGVD in elevation. Vegetation planted below an elevation of about 16 feet NGVD is best viewed as sacrificial, in that it may well be lost during winter storms and as a result need to be replanted on a regular basis.

In all cases, planting should be carried out during rainy months (November through April) before and/or after winter storms, when temperatures are between 32 and 60 degrees F and the sand is wet at a 3 inch depth. Preferably immediately after planting, fertilize with ammonium sulfate fertilizer (N-P-K:21-0-0) at a rate of ~200 - 400 pounds per acre, with follow up fertilization again in the subsequent late fall or early spring rainy period (after SCS, 1991).

#### **Access Management**

Attempts will be made to limit foot traffic and subsequent damage to the planted areas of both recreational users and homeowners and their guests. Signs will be posted, and access paths through the planted area will be identified if necessary. Where feasible, driftwood logs may be relocated from the beach area to the planted area to block foot traffic and to provide additional dune stabilization.

#### Monitoring and Maintenance:

Such plantings will be monitored per the Monitoring Plan proposal outlined in Appendix B. A quarterly report will be generated and provided to both OPRD and Tillamook County Planning Department officials

Depending upon the success or failure of the plantings per this plan, modifications and/or replanting will be done, still within the specifications of the PCFMP. Maintenance of the planted area will be performed as needed to provide the best opportunity of successfully establishing the stand-stilling grasses. Exact maintenance measures will be determined based upon the success and failure of the initial planted area. It is expected that based upon the results of the initial planting, some elements of the planting plan may need to be modified such that best efforts are made to find a successful strategy, while still working within the guidelines outlined in the PCFMP. If a successful planting strategy cannot be developed and proven, then an exception to Goal 18 may be sought.

#### Addendum A

#### 1.0 Introduction

Kiwanda Shores Beachfront Collective, LLC, comprising the homeowners of beachfront property within the Kiwanda Shores development in Pacific City, Oregon is providing this Foredune Grading Plan with Monitoring Report, Oregon Parks and Recreation Department (OPRD) Ocean Shores Permit Application for Sand Alteration, and Tillamook County Foredune Grading Permit Applications for the purpose of obtaining all permits and approvals necessary for the grading of sand to protect our homes from inundation, and to preserve our views and beach access to our properties.

The subject site consists of 40 contiguous oceanfront lots (Kiwanda Shores First, Third, and Fourth Additions) of the Kiwanda Shores development on the western side of Ocean Drive in unincorporated Pacific City, Tillamook County, Oregon (Figures 1 and 2; Appendix A – List of Participating Owners; Appendix B – Site Topographic Survey and Cross Sections; and Appendix C – Site Photographs).

The purpose of this document is to provide evidence and justification for the requested Sand Alteration Permit and the Tillamook County Foredune Grading Permit, including a brief history of the area as related to beach and foredune conditions, and to provide a Foredune Grading Plan (FGP) that is in conformance with the Pacific City Foredune Management Plan (PCFMP) adopted in 1999. The project area lies in Management Units D and E of the PCFMP. This report pertains only to PCFMP Management Units D and E, and therefore this report is not applicable to the other management units in the PCFMP. The scope of work performed for this document included a topographic survey by an Oregon Professional Land Surveyor with 21 cross sections (ground profiles) throughout the project area which trend westerly from Ocean Drive; limited review of the geologic literature; review of historical mono and stereo aerial photography; discussions with several residents of the project area, a past President and Vice President of the Pacific City Homeowners Association and current president of the Kiwanda Shores Beachfront Collective, LLC, and the contractor that has completed most of the past revetment work and grading.

The Kiwanda Shores Beachfront Collective, LLC (KSBC) was granted a Tillamook County Grading Permit, and an OPRD Sand Alteration Permit with a 5 year duration in 2017, and performed grading and planting during that permitted period similar to that which is proposed here-in. As supported with data and testimonials contained here-in, the subject area experiences very significant natural sand movement with wind and storms each year. The subject area has limited history of successful creation and maintenance of sand stilling vegetation, natural or otherwise, and much effort and expense has been spent pursuing ways to minimize the natural sand inundation. The proposed grading and associated efforts for dune stabilization are necessary to preserve the homes

and to maintain beach access within the subject area.

#### 2.0 Site Description

The site is located on the Nestucca Spit in an active dune area having a foredune management plan, the Pacific City Foredune Management Plan (PCFMP). The project area consists of 40 contiguous oceanfront lots in the Kiwanda Shores Subdivision First, Third, and Fourth Additions adjacent to the Pacific Ocean, located a few blocks west of the Nestucca River along the west side of Ocean Drive in the Kiwanda Shores area of the unincorporated community of Pacific City, Oregon (Figures 1 and 2). The 40 subject lots lie in and adjacent Zones VE (EL 24.9), (EL 27.1) and (EL 25.2) (NAVD 88) moving south to north, respectively, with no other mapped flood zones present. The mapping shows the Zone VE boundary appearing to coincide with the line of an identified riprap revetment oceanfront protection structure installed from approximately 1976 through 1979 along the western property boundaries of all 40 of the subject lots. The site is bounded to its north by the Shorepine Village residential development with a natural, essentially unaltered foredune fronting its western side, to its south by the undeveloped Tax Lot 9200, to its east by Ocean Drive which provides access, and to its west by the beach and the Pacific Ocean. In general, grades adjacent to homes are 30 to 38 feet (NGVD 29) with the higher elevations lying at the southern end of the project area in Management Unit E.

### 3.0 Project Description

The project area lies within the Pacific City/Woods Medium Density Residential Zone (PCW-R2) and is subject to the Beach and Dune Overlay Zone (Tillamook County BD - Section 3.530). The subject area lies within the Pacific City Foredune Management Plan, Management Units D and E (Figure 2).

The Kiwanda Shores Beachfront Collective, LLC (KSBC), a group of oceanfront homeowners in Kiwanda Shores, propose to conduct foredune grading of Management Units D and E in compliance with the adopted PCFMP of an approximate 2,500 feet length of oceanfront in the Kiwanda Shores development in Pacific City, Tillamook County, Oregon. Approximately 52,000 cubic yards of sand would be pushed westward from the western edge of a line of homes along the west side of Ocean Drive to form a man-made dune profile.

## 3.1 Project Justification and Overview of Project Necessity

The Subject Area has been susceptible to severe sand inundation since shortly after the original development of the property for residential use. Over

the years, many efforts have been made to both protect homes, view and access from the sand accumulation, and to stabilize the dunes to minimize further sand movements with varying degrees of success and failure. The ongoing sand accumulation provides imminent danger of damage to the homes within the subject area, and in many cases has resulted in an inability to gain access to the beachfront.

An historical account of dune grading and planting of sand stilling vegetation (European beachgrass) in Kiwanda Shores has been provided by Mr. Dave Junkin, who is thoroughly familiar with work that has been done at the site, and supplemented by Mr. Paul Gulick, homeowner since the late 1990's and current head of the Kiwanda Shores Beachfront Collective, LLC (KSBC). In the mid-1990s and early 2000s, Mr. Junkin, a previous resident of Kiwanda Shores and past Vice President of the Kiwanda Shores Homeowners Association (1988-1996) and President of the Pacific City Beachfront Homeowners Association (1992-2002), was largely responsible for directing vegetation planting and maintenance efforts from May 1983 to June 2002 (Appendix F). During this time, dune grading and planting of European beachgrass (Ammophila arenaria) was completed in 1994, 1995, 1997, and 2000. The planting of vegetation was done primarily by students that worked on the project in return for payment of school athletic fees, over 2 weekends each year. Approximately sixteen 40-passenger busloads of students participated in the dune planting project over the first two-year period. Therefore, the amount of labor involved in this 2-year period was about 5,900 man-hours, or more; additional hours were spent in 1997 and the early 2000s.

To summarize Mr. Junkin's synopsis, by January 1986 (after the late 1970s and early 1980s El Niño/La Niña events) sand was rapidly accumulating around the homes and needed to be bulldozed, which was accomplished. (Please note: Coastway Construction reported that sand grading began in the 1970s.) In November of 1986, Tillamook County told the homeowners that "no bulldozing at all" would be permitted. By February 1987 remedial grading within 20 feet of the homes was allowed by the County. In July 1988, the State halted the bulldozing; then by spring of 1989 bulldozing was again allowed within 20 feet of the homes, and down to base flood elevation by July 1989.

Pacific City Beachfront Homeowners Association was formed in 1992, and discussions with County and State officials concerning a dune management plan were initiated. This resulted in approval of a 'pilot program' in 1994 for grading of the foredune and planting. The area from Cape Kiwanda to the south end of Kiwanda Shores was graded to the 34 feet elevation, the V Zone elevation of 30 feet plus 4 feet (NGVD 29), and 375,000 plants were planted along this approximately ¾ mile long beachfront area. This planting continued along with repair plantings through the spring of 1995. In 1996 storms eroded most sand eastward to the revetment,

exposing it and removing most of the vegetation.

In January 1997 discussions began with State and County officials to create a formal Foredune Management Plan. The Pacific City Foredune Management Plan was completed in September 1998 and adopted by the County in 1999.

In the spring of 1997 more grading and planting was accomplished. In April 2000 the foredune area from Cape Kiwanda to approximately the south end of Kiwanda Shores, which included 72 lots, was graded and planted 75 feet wide, had 150 "Keep Off" signs posted, and the beachgrass was fertilized and watered. These efforts continued through 2002 but the plantings failed. From that time up until 2015, regulatory officials did not raise objections to the grading activities in the area. At that time, the county informed homeowners that if grading to protect homes were to proceed, they must be done through the permitting process and in line with the PCFMP. Homeowners started submitting applications for Remedial Grading Permits in an effort to save their homes from sand inundation. Those permits were granted, and grading was performed per those permits minimizing damage to homes during that time. However, it became clear that being limited to only grading within 20 feet of the homes resulted in huge piles of sand that not only limited both views of the ocean and any access to the beach that was previously enjoyed, but also would just slump back down onto the homes at the next storm.

In 2016, the beachfront homeowners of Kiwanda Shores formed the Kiwanda Shores Beachfront Collective LLC for the express purpose of securing the proper permits to allow the grading of sand along the Kiwanda Shores section of Pacific City shoreline, and which was coordinated by one of the homeowners, Paul Gulick. A geologic engineering consultant firm, H.G. Schlicker, was hired to study the area and provide reports required by the county and state permitting process. Doug Gless of H.G. Schlicker & Assoc. surveyed the area, researched sand and vegetation histories and created a report to be used in the application for permits for sand alteration. Much of the content in this report stems from the work of Mr. Gless and H.G. Schlicker and Associates performed at that time. The KSBC submitted applications to Tillamook County and to OPRD in 2016, and were granted permits in 2017 by both entities.

For the next 5 years, the KSBC coordinated grading efforts in the subject area, oversaw the third party monitoring of the grading per the permitted Monitoring Plan, and contracted for the planting of beach grass after each grading event. During this time, grading of the subject area successfully protected the homes from inundation, and preserved views and beach access as intended. Each winter, new storms would deposit significant amount of sands on or near the homes in the area, and each spring, the grading would be done

to push that sand back out seaward, shaped as describing in the permitted grading plan, and then the foredune was planted each year with sand stilling grasses. Signs were posted each year to minimize foot traffic on the newly planted beach grass. Despite these efforts and considerable expense, most of the beach grass would not survive the summer, and thus was generally ineffectual in slowing the movement of sand. However, some success was seen on the South end of the subject area, where the planted grasses did take hold, and did to some extent slow the movement of sand towards the home on that end of the subject area.

Kiwanda Shores Beachfront Collective, LLC proposes to grade the foredune on which their homes and the area to the west occupy, continuing the work that has been performed over the past 5 years under permit. This grading is proposed to conform to the PCFMP for Units D and E. The objectives of the proposed grading are to prevent homes from being inundated with sand and to maintain views; to maintain flood/erosion protection; and to maintain or enhance access for homeowners and public; with the priority objective being to "minimize inundation brought about by excessive accumulation of wind-blown sand and correspondingly maintaining or enhance ocean views".

The proposed graded dune profiles are shown on Figures 4, 6, 9, 12 and 13. These were developed using the Foredune Management Plan's Management Strategy for Units D and E (Figure 15 – Design Foredune and Figure 16 – Idealized End Member Dune Profiles)

### 4.0 Potential Impacts and Mitigation Efforts

The grading and dune stabilization will follow the approved Pacific City Dune Management Plan (PCFMP) and could result in the following short term impacts:

- Sand will be disrupted during grading and moved towards the beach. Some beach grass may be disturbed or destroyed
- Sand that is disturbed during grading may be susceptible to winds until stabilization efforts are complete
- Grading equipment may emit noise and leave temporary tracks in the sand

Efforts to minimize these impacts include performing all grading during the winter months when the sand is wet and not as susceptible to blowing during the grading activities Furthermore, efforts will be made to work around any established areas of beach grass as much as is practical to minimize disruption of any established beach grass sections. Lastly, the stabilization efforts (planting of new beach grass) will be performed as soon after the finish grading is completed to minimize the time of any exposed, recently graded areas prior to the approved stabilization efforts.

4.1 Compliance with Beach Construction/Alteration Standards

In addition to the foreseeable impacts outlined above, this application provides the following plans and assurances in full compliance with current state and county guidelines for all Beach Construction and Alterations.

#### 4.1.1 General Standards

The project will protect all applicable public rights to the subject area during the proposed grading activities. At no time will equipment or personnel restrict or limit any public rights in the subject area. The work is done over a large area with a limited amount of equipment (one 312 Excavator) that limiting any access or other public rights is not necessary to assure safety or compliance.

There will be no costs to the public to perform the activities outlined here-in. No government agency is required to perform any of the work, and no ability to tap any public funds is envisioned or proposed.

The project is in compliance with the LCDC Goals, specifically Goal 18 which outlines all construction activities and development, including sand alteration on the Oregon coast. Goal 18 specifically allows for the proposed sand alteration to be done for the preservation of personal property, and for the preservation of views and access, as long as such activities is permitted and shown to be in compliance with an approved Foredune Management plan such as the Pacific City Foredune Management Plan approved and adopted in 1999.

#### 4.1.2 Scenic Standards

In compliance with the Scenic Standards outlined in OAR 736-020-0015, the project will not negatively or significantly alter any natural features in the subject area. The current state of the subject area, as outline above and detailed in testimonials and pictures here-in, comprises a long relatively flat section of sand covered foredune extending from the homes at a base level of 30 to 38 feet (NGVD 29) down to the water level. The project will only continue that historical profile by grading sand away from homes and planting beach grass for dune stabilization. As the beach grass continues to take hold, as it has done on the far southern portion of the subject area, the natural features will only be enhanced.

Damage to any existing beach grass areas will be minimized per the grading plan contained herein, and in all cases, should damage occur, the beach grass areas will be replanted and protected. No view obstruction of the natural areas will result from the permitted activities, and the end result of the grading and stabilization efforts will compatible with the natural surroundings in the area.

#### 4.1.3 Recreational Use Standards

Recreational use and access of the subject area will not be impacted by the project, either during the grading activity or after completion. Only limited restrictions will apply in close vicinity to the grading equipment during grading, which will be done in low use periods during the months of November to March.

#### 4.1.4 Safety Standards

All applicable safety standards will be monitored and adhered to during the grading and planting activities. All activity will be performed by professional contractors who are properly insured and permitted to perform such work. At no time will there be a risk to neighboring properties, in that only open sand dunes abut the subject area to both the north and south. Homeowners within the subject area have signed this application and approved the work envisioned here-in. Furthermore, the contractor doing the grading has significant experience doing the work outlined here and has not had any reported safety violations or concerns.

#### 4.1.5 Natural and Cultural Resource Standards

Natural and Cultural Resources Standards will be adhered to during the grading and foredune stabilization. Specifically, there is no anticipated impact to fish and wildlife resources as the grading activity is to be performed well above the mean high tide mark, and no other water or natural elements are in the subject area other than open dune as described earlier. There are no estuarine elements in the subject area. The grading will be done such that if at any time any potential historical, cultural, archaeological, or geologic items are discovered in the subject area, all grading will stop and state resources will be brought in to evaluate the situation and guide and inform the project on how to deal with the findings. Note that no such items have been found in the subject area in the past, nor have been identified our found anywhere near the subject area.

#### Addendum B - Plans

### KSBC Foredune Grading Plan, 2024

Kiwanda Shores Beachfront Collective LLC, (KSBC) representing a group of beachfront homeowners in the Kiwanda Shores development of Pacific City applying for a Foredune Grading Permit by the Tillamook County Planning Department. The grading permit requires that all foredune grading be in compliance with the Pacific City Foredune Management Plan (PCFMP) for sections D and E. This document is to outlines the specifics of the Foredune Grading Plan.

The subject area is the entire beachfront area within the Kiwanda Shores development in Pacific City, Oregon. Here, approximately 40 homes and home sites lie above a stretch of beachfront that is an area of extreme sand movement and accretion, particularly during the winter months. Many thousands of cubic yards pile up with each storm, and without grading the homes in the area would soon be inundated. Grading is required to protect the homes from damage, and to restore views and usability of the home.

Foredune grading in the subject area will be performed primarily during the winter months to avoid excessive accumulation of sand around the homes. Left ungraded during this time, the sand movement and accumulation can cause significant property damage. Grading is typically performed by use of a large excavator which moves sand westward and deposits the excess sand on the foredune downslope. Grading is to be performed across the subject area as needed throughout the winter. As the frequency and severity of the winter storms begin to lessen, typically in the February and March timeframes, finish grading will occur to achieve a foredune profile as outlined in the attached foredune survey profiles. The entire subject area will be graded so that the result is a uniform and naturally flowing dune as indicated in the PCFMP for sections D and E. Upon completion of the finish grading, the planting of sand-stilling beach grasses will occur as per the attached Planting Plan. Furthermore, monitoring of the Foredune and the plantings will be performed per the attached Monitoring Plan.

Grading will be performed to accomplish a uniform dune slope along the subject area as much as is feasible. Grading will be done down to the levels shown in the profiles, which are near to the bottom floor level of the beachfront side of the homes involved. However, in all cases, grading will not be done resulting in a grade below the governing FEMA defined limits plus 4 feet. Since the profiles provided do not detail exact elevations for each homeowner, note that the FEMA elevations and the requirements of the PCFMP are the overriding governing documents, and are to be adhered to in all cases.

It is the objective of this plan to achieve a more stable foredune through this permitted grading and vegetative stabilization over time. Based on history, however, this will take time to achieve, and thus it is expected that at least some grading will need to be performed annually per this plan throughout the 5 year life of the permit. The planting Plan and the Monitoring Plan will follow each grading cycle as outlined above.

It is the intent of this plan and related documents to remain in full compliance of the PCFMP and any and all government mandated rules and regulations. Specifically:

- Under no circumstances will any sand be removed from the beachfront
- Under no circumstances will any grading be performed that brings the elevation of the Foredune below the FEMA V-Zone 100 year plus 4 feet limit
- No sand will be deposited as a result of grading below 12 feet NGVD

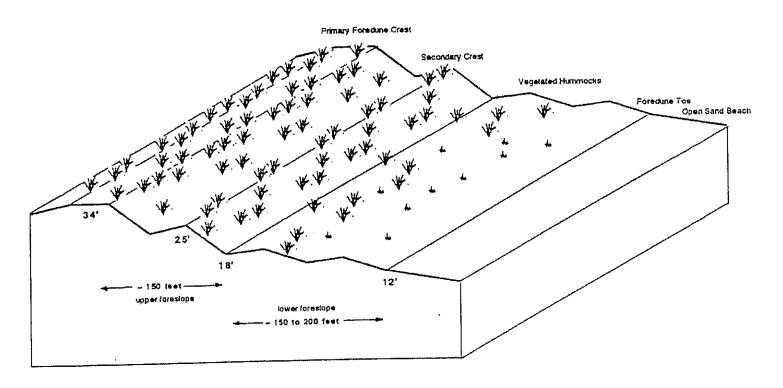


Figure 3. The Pacific City Design Foredune.

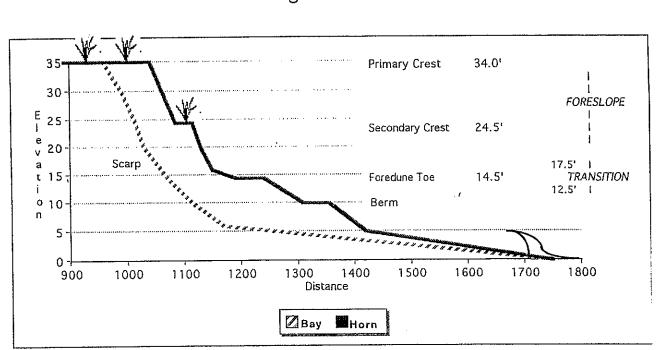


Figure 11. Idealized end member profiles for the Pacific City shoreline.

Elevations and distances are in feet. Terms shown in figure are described in the text.

Figure 15

#### Sand Volume Estimates

	Horiz.	Vertical	9	Shape %	Linear Ft.	Cubic Feet		Cubic yards
Sect -02	50	) 2	2	0.5	350	175	00	1944
Sect -05	70	) 4	4	0.75	350	735	00	8167
Sect -08	100	) 5	5	0.75	350	1312	50	14583
Sect -11	70	) (	6	0.5	475	997	50	11083
Sect -17	50	) . 4	4	0.5	300	300	00	3333
Sect -20	60	) 4	4	0.75	350	630	00	7000
					2175	Total 4150	00	46111

### Construction Value of Project

Grading \$46,111 Coastway Construction (aprox. \$1 per cubic yard moved)

Planting \$48,450 Josh Venti, Bros with Hoes

Monitoring \$500

Construction Value \$95,061

# Adams

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Date Received:	NOV 0 6 2024	Receipt #:			
PROPERTY OWNER: Kiwanda Shores Multiple Owners	BY: Beachfront Collective,	Michael Smith (Applicant) PHONE:503-709-3813			
ADDRESS:_24727 SW Stafford RdC	CITY:Tualatin	STATE:_ORZIP:_97062			
1. LEGAL DESCRIPTION OF PROPE	RTY WHERE GRADIN	IG IS TO OCCUR.			
Township4SRange	11Section_	24Tax Lot7200			
2. ADDRESS OF PROPERTY OWNER3400 to 34900 Ocean Drive,	R WHERE GRADING I Pacific City, OR 9713	S TO OCCUR: 5			
3. FOREDUNE MANAGEMENT SUBA	AREA PLAN:Mai	nagement Units D and E			
4. A FOREDUNE GRADING PLAN SH	ALL CONTAIN THE F	OLLOWING ELEMENTS:			
<ul> <li>a. Description of the proposed work, including location and timing of activities, and equipment to be used;</li> <li>b. Plan view and elevations of existing conditions in the grading area;</li> <li>c. Plan view and elevations of proposed modifications in the grading area; and</li> <li>d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.</li> </ul>					
I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.					
I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.    1					
Signature of Applicant	Signature of Applicant Date Signed				
This permit is Valid Only with Tillamook County Approval Stamp Below					

Date Received:	Receipt #:				
PROPERTY OWNER: Kiwanda Shores Beachfron Multiple Owners	nt Collective, Paul Guilek (Applicant) PHONE:503-709-3813				
ADDRESS:_24727 SW Stafford RdCITY:T	ualatinSTATE:_ORZIP:_97062				
1. LEGAL DESCRIPTION OF PROPERTY WHE	RE GRADING IS TO OCCUR.				
Township 4S Range 11	Section 24 Tax Lot Multiple				
2. ADDRESS OF PROPERTY OWNER WHERE3400 to 34900 Ocean Drive, Pacific Cit					
3. FOREDUNE MANAGEMENT SUBAREA PLAI	N:Management Units D and E				
4. A FOREDUNE GRADING PLAN SHALL CON	TAIN THE FOLLOWING ELEMENTS:				
<ul> <li>a. Description of the proposed work, including location and timing of activities, and equipment to be used;</li> <li>b. Plan view and elevations of existing conditions in the grading area;</li> <li>c. Plan view and elevations of proposed modifications in the grading area; and</li> <li>d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.</li> </ul>					
I certify that all dune management activities will construct the Management Plan and the conditions of appropermit and citation.	omply with the Pacific City Foredune Management tand that failure to comply with the requirements of oval of this permit may result in revocation of this				
I certify that the information contained in this appliand accurate. I further certify that I possess the a I will obtain necessary Oregon Parks and Recreat activities described herein.  Signature of Applicant	juthority to undertake the activities described nerein.				
•					
This permit is Valid Only with Tilla	mook County Approval Stamp Below				

Date Received: 03 88 2024 Receipt #:	162			
1 LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.				
Township 45 Range 11 Section 24 Tax Lot 1400  2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR:  34080 Occars Dr., Pacific City, 06, 97135				
3. FOREDUNE MANAGEMENT SUBAREA PLAN: Management Units D and E				
4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:				
<ul> <li>a. Description of the proposed work, including location and timing of activities, and equipment to be used;</li> <li>b. Plan view and elevations of existing conditions in the grading area;</li> <li>c. Plan view and elevations of proposed modifications in the grading area; and</li> <li>d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.</li> </ul>				
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Signature of Property Owner  Signature of Property Owner  Date Signed				
This permit is Valid Only with Tillamook County Approval Stamp Below	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,			

Date Received:	Receipt #:			
PROPERTY OWNER: Kiwanda Shores Beachfront Co Multiple Owners	ollective, Adam Roselli (Applicant) PHONE:503-709-3813			
ADDRESS:_24727 SW Stafford RdCITY:Tuala	tinSTATE:_ORZIP:97062			
1. LEGAL DESCRIPTION OF PROPERTY WHERE	GRADING IS TO OCCUR.			
Township4SRange11S	section24Tax LotMultiple			
2. ADDRESS OF PROPERTY OWNER WHERE GRA	ADING IS TO OCCUR:			
34100 Ocean Drive, Pacific City, OR 97135	53.			
FOREDUNE MANAGEMENT SUBAREA PLAN:	Management Units D and E4.			
A FOREDUNE GRADING PLAN SHALL CONTAIN T	HE FOLLOWING ELEMENTS:			
<ul> <li>a. Description of the used, Attached including location and tipping of activities, and</li> <li>b. Plan view and elevations of existing conditions in the grading area; Pages 3 - 15</li> <li>c. Plan view and elevations of proposed modifications in the grading area; Pages 16 - 25 and</li> <li>d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities. Page 26</li> </ul>				
I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.				
I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein.  I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.				
aldam Roselli				
—7FG23A801FBA479. Applicant	Date Signed			
This permit is Valid Only with Tillamook County Approval Stamp Below				

Date Received:	Receipt #:			
PROPERTY OWNER: Kiwanda Shores Beachfront Co Multiple Owners	ollective, Ron LaPierre (Applicant) PHONE:909-762-6520			
ADDRESS:_4113 S Hay Field CircleCITY:Ridg	efieldSTATE:WAZIP:98642			
1. LEGAL DESCRIPTION OF PROPERTY WHERE	GRADING IS TO OCCUR.			
Township4SRange11S	Section24Tax Lot_6800Multiple			
<ol> <li>ADDRESS OF PROPERTY OWNER WHERE GR 34130 Ocean Drive, Pacific City, OR 9713</li> </ol>				
3. FOREDUNE MANAGEMENT SUBAREA PLAN:_	Management Units D and E			
4. A FOREDUNE GRADING PLAN SHALL CONTAIN	N THE FOLLOWING ELEMENTS:			
<ul> <li>a. Description of the proposed work, including location and timing of activities, and equipment to be used;</li> <li>b. Plan view and elevations of existing conditions in the grading area;</li> <li>c. Plan view and elevations of proposed modifications in the grading area; and Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.</li> <li>I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this</li> </ul>				
permit and citation.	,			
I certify that the information contained in this applicate and accurate. I further certify that I possess the auth I will obtain necessary Oregon Parks and Recreation activities described herein.	ority to undertake the activities described herein.			
The				
Signature of Applicant	Date Signed			
This permit is Valid Only with Tillamook County Approval Stamp Below				

Date Received:	Receipt #:
PROPERTY OWNER: Anthony Power (Applicant) Multiple Owners	PHONE:801-597-6797
ADDRESS:_623 S 9th StreetCITY:LivingstonS	TATE:MTZIP:59047
1. LEGAL DESCRIPTION OF PROPERTY WHERE GRAI	DING IS TO OCCUR.
Township 4S Range 11 Section	on24daTax Lot5800
<ol> <li>ADDRESS OF PROPERTY OWNER WHERE GRADIN</li> <li>34150 Ocean Drive, Pacific City, OR 97135</li> </ol>	
3. FOREDUNE MANAGEMENT SUBAREA PLAN:N	Management Units D and E
4. A FOREDUNE GRADING PLAN SHALL CONTAIN THI	E FOLLOWING ELEMENTS:
<ul> <li>a. Description of the proposed work, including local to be used;</li> <li>b. Plan view and elevations of existing conditions in c. Plan view and elevations of proposed modification.</li> <li>d. Identity of the individual(s) responsible for supermonitoring and maintenance activities.</li> </ul>	n the grading area; ons in the grading area; and
I certify that all dune management activities will comply wit Plan and subarea plan identified above. I understand that the Management Plan and the conditions of approval of thi permit and citation.	failure to comply with the requirements of
I certify that the information contained in this application, to and accurate. I further certify that I possess the authority t I will obtain necessary Oregon Parks and Recreation Depa activities described herein.	o undertake the activities described herein.
anthony power	18 Jan 2024 e Signed
This permit is Valid Only with Tillamook Co	ounty Approval Stamp Below

Date Received:	Receipt#:			
PROPERTY OWNER: Kiwanda Shores Beachfront Co Multiple Owners	llective, Paul Cities (Applicant) PHONE:503-709-3813			
ADDRESS:_24727 SW Stafford RdCITY:Tualat	inSTATE:ORZIP:97062			
A LEGAL DESCRIPTION OF PROPERTY WHERE G	RADING IS TO OCCUR. 451174DA			
Township 4S Range 11 S	section24Tax LotMultiple			
2. ADDRESS OF PROPERTY OWNER WHERE GRA 3400 to 34900 Ocean Drive, Pacific City, Of	UDINIC IS TO OCCUPIED TO NOW FOR THE			
3. FOREDUNE MANAGEMENT SUBAREA PLAN:	Management Units D and E			
4. A FOREDUNE GRADING PLAN SHALL CONTAIN	THE FOLLOWING ELEMENTS:			
<ul> <li>a. Description of the proposed work, including location and timing of activities, and equipment to be used;</li> <li>b. Plan view and elevations of existing conditions in the grading area;</li> <li>c. Plan view and elevations of proposed modifications in the grading area; and</li> <li>d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.</li> </ul>				
I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.				
I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein.  I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.				
Signature of Applicant	Date Signed			
This permit is Valid Only with Tillamod	k County Approval Stamp Below			

Date Received:	Receipt #:
PROPERTY OWNER: Kiwanda Shores Maintenance As President	sociation (KSMA), Susan Caney-Peterson,
PHONE:503-830-7455	
ADDRESS:_KSMA, P.O. Box 808, Pacific City, OR, 971	35
1. LEGAL DESCRIPTION OF PROPERTY WHERE GR	RADING IS TO OCCUR.
Township 4S Range 11 Se	ction24Tax Lot 6500
2. ADDRESS OF PROPERTY OWNER WHERE GRAD	
3. FOREDUNE MANAGEMENT SUBAREA PLAN:	Management Units D
4. A FOREDUNE GRADING PLAN SHALL CONTAIN	THE FOLLOWING ELEMENTS:
<ul> <li>a. Description of the proposed work, including to to be used;</li> <li>b. Plan view and elevations of existing condition</li> <li>c. Plan view and elevations of proposed modific</li> <li>d. Identity of the individual(s) responsible for supmonitoring and maintenance activities.</li> </ul>	s in the grading area; ations in the grading area; and
I certify that all dune management activities will comply Plan and subarea plan identified above. I understand the Management Plan and the conditions of approval of permit and citation.	hat failure to comply with the requirements of
I certify that the information contained in this application and accurate. I further certify that I possess the authority will obtain necessary Oregon Parks and Recreation Described herein.	ty to undertake the activities described nerein.
Sassan Caney-Peterso—	
Susan Caney-Peterson, president, on behalf of KSMA	1.17.24 Date Signed
This permit is Valid Only with Tillamook	County Approval Stamp Below

Date Received: Receipt #:	
PROPERTY OWNER: Kiwanda Shores Beachfront Collective, Paul Gulick (Applicant)  Multiple Owners  Receipt #:  Datch Holzgraft  PROPERTY OWNER: Kiwanda Shores Beachfront Collective, Paul Gulick (Applicant)  PHONE: 503-709-3813	
ADDRESS:_24727 SW Stafford RdCITY:TualatinSTATE:ORZIP:97062	
1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.	
Township 4S Range 11 Section 24 Tax Lot Multiple 6	100
2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR:  3 4 2 1 03400 to 34900 Ocean Drive, Pacific City, OR 97135	<del></del>
3. FOREDUNE MANAGEMENT SUBAREA PLAN:Management Units D and E	•
4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:	
<ul> <li>a. Description of the proposed work, including location and timing of activities, and equipment to be used; Attached Foredune Grading Plan, Page 2</li> <li>b. Plan view and elevations of existing conditions in the grading area; Pages 3 - 15</li> <li>c. Plan view and elevations of proposed modifications in the grading area; Pages 16 - 25</li> <li>d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities. Page 26</li> </ul>	and
I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirement the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.	s of
I certify that the information contained in this application, to the best of my knowledge, is completed and accurate. I further certify that I possess the authority to undertake the activities described here I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.	
Signature of Applicant Date Signed	
This permit is Valid Only with Tillamook County Approval Stamp Below	-

TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT (Please remit fees with the completed application)

Date Received:		Receipt #:		
PROPERTY OWNER:	_Todd Huegli	PHONE:		
		STATE: ZIP:		
1. LEGAL DESCRIPTION OF P				
Township4SRai	nge11Section	24Tax Lot	_ }	
		S IS TO OCCUR:		
3. FOREDUNE MANAGEMENT	SUBAREA PLAN:	_Management Units D and E	-	
4. A FOREDUNE GRADING PL	AN SHALL CONTAIN THE	FOLLOWING ELEMENTS:		
<ul> <li>a. Description of the proposed work, including location and timing of activities, and equipment to be used;</li> <li>b. Plan view and elevations of existing conditions in the grading area;</li> <li>c. Plan view and elevations of proposed modifications in the grading area; and</li> <li>d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.</li> </ul>				
I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.				
I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.				
Todd Husgli		/2024 : Signed		
Signature of Property Owner		Signed		

This permit is Valid Only with Tillamook County Approval Stamp Below

Date Received:	Receipt #:		
PROPERTY OWNER: Kiwanda Shores Beachfront Collective, Michael Smith (Applicant) Multiple Owners PHONE:503-709-3813			
ADDRESS:_24727 SW Stafford RdCITY:Tu	alatinSTATE:ORZIP:97062		
1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.			
Township 4S Range 11	Section24Tax Lot6100		
2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR: 3400 to 34900 Ocean Drive, Pacific City, OR 97135			
3. FOREDUNE MANAGEMENT SUBAREA PLAN	:Management Units D and E		
4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:			
<ul> <li>a. Description of the proposed work, including location and timing of activities, and equipment to be used;</li> <li>b. Plan view and elevations of existing conditions in the grading area;</li> <li>c. Plan view and elevations of proposed modifications in the grading area; and</li> <li>d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.</li> </ul>			
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I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.			
Signature of Applicant	1.19.24 Date Signed		
This permit is Valid Only with Tillamook County Approval Stamp Below			

TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT (Please remit fees with the completed application)

Date Received:	Receipt #:		
PROPERTY OWNER: Kiwanda Shores Beachf Multiple Owners	ront Collective, Thoreson (Applicant) PHONE:503-709-3813		
ADDRESS:_24727 SW Stafford RdCITY:	_TualatinSTATE:ORZIP:97062		
1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.			
Township4SRange11_	Section24Tax LotMultiple		
2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR: 34298 Ocean Drive, Pacific City, OR 97135			
3. FOREDUNE MANAGEMENT SUBAREA P	LAN: Management Units D and E		
4. A FOREDUNE GRADING PLAN SHALL CO	ONTAIN THE FOLLOWING ELEMENTS:		
equipment to be used; Attached Fore b. Plan view and elevations of propose	conditions in the grading area; Pages 3-15 ed modifications in the grading area; Pages 16-25 and le for supervising the project, and for conducting		
I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.			
and accurate. I further certify that I possess if	pplication, to the best of my knowledge, is complete ne authority to undertake the activities described herein. reation Department permits before I do any of the		

This permit is Valid Only with Tillamook County Approval Stamp Below

Date Received:	Receipt #;
PROPERTY OWNER: TOMMY & Art Mils	Delby Portonsh 503 246 493;
PROPERTY OWNER: Jammy & Art Mils  ADDRESS: 7307 SW 44Ve CITY: P	ortland STATE: OR ZIP: 97219
1. LEGAL DESCRIPTION OF PROPERTY WHERE	
Township4SRange11S	Section24Tax Lot
2. ADDRESS OF PROPERTY OWNER WHERE GR	ADING IS TO OCCUR:
3. FOREDUNE MANAGEMENT SUBAREA PLAN:	, , , , , , , , , , , , , , , , , , ,
4. A FOREDUNE GRADING PLAN SHALL CONTAIN	N THE FOLLOWING ELEMENTS:
<ul> <li>a. Description of the proposed work, including to be used;</li> <li>b. Plan view and elevations of existing condition.</li> <li>c. Plan view and elevations of proposed modified.</li> <li>d. Identity of the individual(s) responsible for smonitoring and maintenance activities.</li> </ul>	fications in the grading area; and
I certify that all dune management activities will comp Plan and subarea plan identified above. I understand the Management Plan and the conditions of approval permit and citation.	that tallifie to combit with the rednirements or
I certify that the information contained in this application and accurate. I further certify that I possess the authorises described herein.  Signature of Property Owner	OUT TO UNDERTAKE THE ACTIVITIES DESCRIBED HELDIN.
This permit is Valid Only with Tillamo	
this pertill is valid Only with I married	were an amount of duffictuation of the state

Date Received.	Receipt #.	
PROPERTY OWNER: Kiwanda Shores Beachfront ( Multiple Owners	Collective, Lloyd Hodge (Applicant) PHONE:503-709-3613	
ADDRESS:_24727 SW Stafford RdCITY:Tua	latinSTATE:ORZIP:97062	
1 LEGAL DESCRIPTION OF PROPERTY WHERE	E GRADING IS TO OCCUR.	
Township \$\overline{\mathbb{B}} 4\mathbb{S} \qquad \text{Range} 11	Section 24 Tax Lot Multiple	
2 ADDRESS OF PROPERTY OWNER WHERE G 34320 3400 to 34900 Ocean Drive, Pacific City,	RADING IS TO OCCUR-	
3. FOREDUNE MANAGEMENT SUBAREA PLAN:	Management Units D and E	
4. A FOREDUNE GRADING PLAN SHALL CONTA	AIN THE FOLLOWING ELEMENTS:	
<ul> <li>a. Description of the proposed work, including equipment to be used; Attached Foredung</li> <li>b. Plan view and elevations of existing conditions.</li> <li>c. Plan view and elevations of proposed model.</li> <li>d. Identity of the individual(s) responsible for monitoring and maintenance activities. Page 1.</li> </ul>	e Grading Plan, Page 2 litions in the grading area; Pages 3 - 15 idifications in the grading area; Pages 16 - 25 and ir supervising the project, and for conducting	
I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.		
I certify that the information contained in this applica and accurate. I further certify that I possess the aut I will obtain necessary Oregon Parks and Recreation activities described herein	IDOUGN TO INDELISKS THE SCHAMES DESCRIBED HELEMAN	
Signature of Applicant	Date Signed	
This permit is Valid Only with Tillamook County Approval Stamp Below		

Date Received:	Receipt #:
PROPERTY OWNER: Danie G- Ke	PHONE: 503 765 0397
ADDRESS: 1930 Tompking St 0	ITY: LEST LINA STATE: CR ZIP: 97668
1. LEGAL DESCRIPTION OF PROPERTY V	
Township4SRange1	1Section24Tax Lot £ 8tC
2. ADDRESS OF PROPERTY OWNER WHI 34340 Coean Drive Pac.	RE GRADING IS TO OCCUR:
	PLAN: Management Units D and E
4. A FOREDUNE GRADING PLAN SHALL	CONTAIN THE FOLLOWING ELEMENTS:
to be used;  b. Plan view and elevations of existing  Color view and elevations of propos	ed modifications in the grading area, and ible for supervising the project, and for conducting
Dies and subgres plan identified above   Life	vill comply with the Pacific City Foredune Management derstand that failure to comply with the requirements of approval of this permit may result in revocation of this
and accurate. I further certify that I possess t	application, to the best of my knowledge, is complete the authority to undertake the activities described herein. creation Department permits before I do any of the Date Signed
This permit is Valid Only with	Tillamook County Approval Stamp Below

Date Received:	Receipt #:
PROPERTY OWNER: Jay and Caroline Jaffee	PHONE:503-914-7732
ADDRESS: 17350 SW 106th Ct. Tualatin, OR 97062  1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS	TO OCCUR.
LOT:5 BLK:8 SEC/TWN/RNG/MER:SEC 24 TWN 04S RNG 11W SUBD NAME: KIV NO: 5 MAP REF:4S1124DA02200  2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO 34370 Ocean Dr. Pacific City, OR 97135-8108	OCCUR:
3. FOREDUNE MANAGEMENT	
4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLL	
<ul> <li>a. Description of the proposed work, including location and to be used;</li> <li>b. Plan view and elevations of existing conditions in the grace.</li> <li>c. Plan view and elevations of proposed modifications in the didentity of the individual(s) responsible for supervising the monitoring and maintenance activities.</li> </ul>	ading area; ne grading area; and
I certify that all dune management activities will comply with the Plan and subarea plan identified above. I understand that failure the Management Plan and the conditions of approval of this permit and citation.	it may result in revocation of this
Legitify that the information contained in this application, to the beand accurate. I further certify that I possess the authority to unde I will obtain the necessary Oregon Parks and Recreation Departmactivities described herein.	ent permits before any of the
1-19-	-27 f.
23.12.12	
This permit is Valid Only with Tillamook County A	oproval Stamp Below

4511 2404 02300

## FOREDUNE GRADING PERMIT APPLICATION

Date Received: 1/16/2024	Receipt #:			
	Greshun			
PROPERTY OWNER: Kiwanda Shores Beachfront Collect Multiple Owners	PHONE:503-709-3813			
ADDRESS:_24727 SW Stafford RdCITY:Tualatin_				
1. LEGAL DESCRIPTION OF PROPERTY WHERE GRA				
Township4SRange11Sect	ion24Tax LotMultiple			
2. ADDRESS OF PROPERTY OWNER WHERE GRADI	7135			
3. FOREDUNE MANAGEMENT SUBAREA PLAN:				
4. A FOREDUNE GRADING PLAN SHALL CONTAIN T				
<ul> <li>a. Description of the proposed work, including location and timing of activities, and equipment to be used;</li> <li>b. Plan view and elevations of existing conditions in the grading area;</li> <li>c. Plan view and elevations of proposed modifications in the grading area; and</li> <li>d. Identity of the individual(s) responsible for supervising the project, and for conducting</li> </ul>				
monitoring and maintenance activities.				
I certify that all dune management activities will comply we also subarea plan identified above. I understand the the Management Plan and the conditions of approval of the permit and citation.	this permit may result in revocation of this			
I certify that the information contained in this application, and accurate. I further certify that I possess the authority I will obtain necessary Oregon Parks and Recreation Deactivities described herein.	partment permits before I do any of the			
Jami Gresliam On Josh	1/16/2024			
Signature of Applicant 602C3694960D416 D	ate Signed			
This permit is Valid Only with Tillamook	County Approval Stamp Below			

Receipt #:
Dain Marawag
PROPERTY OWNER: Jeff + Julie Dyck PHONE: 503-437-1803
ADDRESS: HATOL NW Old MOONEN Valley CITY: Yamh. 11 STATE: OR ZIP: 97/4
A FOAT DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.
1. LEGAL DESCRIPTION OF THE TOWNShip 4S Range 11 Section 24 Tax Lot 2400
2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR:
3. FOREDUNE MANAGEMENT SUBAREA PLAN: Management Units D and E
4. A FOREDUNE GRADING PLAN SHALL CONTAIN THE FOLLOWING ELEMENTS:
<ul> <li>a. Description of the proposed work, including location and timing of activities, and equipment to be used;</li> <li>b. Plan view and elevations of existing conditions in the grading area;</li> <li>c. Plan view and elevations of proposed modifications in the grading area; and</li> <li>d. Identity of the individual(s) responsible for supervising the project, and for conducting monitoring and maintenance activities.</li> </ul>
I certify that all dune management activities will comply with the Pacific City Foredune Management Plan and subarea plan identified above. I understand that failure to comply with the requirements of the Management Plan and the conditions of approval of this permit may result in revocation of this permit and citation.
I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described here I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.
Signature of Property Owner Date Signed
This permit is Valid Only with Tillamook County Approval Stamp Below

ived:						
		•	アットナット	- Luei	than	-
Whers			• •			•
						97062
DESCRIPTIO	N OF PROPERTY	WHERE GRADIN	IG IS TO	OCCUR	L	
					Mu	ltiple
3400 to 34900	O Ocean Drive, Pac	lific City, OR 9713	35		<u>,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,</u>	
DUNE MANAG	SEMENT SUBAREA	N PLAN:Ma	nagemer	nt Units D	and E	
equipment to be Plan view and Plan view and Identity of the i monitoring and	be used; Attached to levistic levations of existic leverations of proportional leverations of proportional leverations activities and leverations activities activiti	ing conditions in the condition in the conditions in the condition	he gradin s in the g sing the p	g area; F rading ar roject, ar	Pages 3 sa; Pag nd for c	i - 15 ges 16 - 25 and onducting
suberea plan id gement Plan ar d citation.	dentified above. 1 und the conditions of	f approval of this p	permit ma	y result l	n revoc	ation of this
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Date Received:	Receipt#:
Multiple Owners	Shores Beachfront Collective, Jim Bruno (Applicant) PHONE:503-709-3813
ADDRESS:_24727 SW Staffor	d RdCITY:TualatinSTATE:ORZIP:97062
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Date Received. 222727	DHONE: 505 244 9797				
PROPERTY OWNER: MAIL MAKE PANET - KAYILLOTT	5 FRONC.				
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	Date Received: Receipt #:
	PROPERTY OWNER: Kiwanda Shores Beachfront Collective, Paul Gulick (Applicant)  Multiple Owners  PHONE:503-709-3813
	ADDRESS:_24727 SW Stafford RdCITY:TualatinSTATE:ORZIP:97062
	1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.
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	I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein. I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.  Signature of Applicant  Date Signed
	This permit is Valid Only with Tillamook County Approval Stamp Below

Date Receive	ed:		Receip	ot #:
	OWNER:Lee &	Debbie Stuart	PHONE:	402-525-3350
	3617 Potomac Lar			
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	PHONE:503-709-3813			
	CITY:TualatinSTATE:ORZIP:97062			
1. LEGAL DESCRIPTION OF PROPERTY				
	11Section24Tax Lot8200			
2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR: 34650 Ocean Drive, Pacific City, OR				
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Date Received:		Receipt #:
PROPERTY OWNER: Kiwanda Shor Multiple Owners	es Beachfront Colle	ctive, Paul Gulick (Applicant) PHONE:503-709-3813
ADDRESS:_24727 SW Stafford Rd	_CITY:Tualatin	STATE:ORZIP:97062
1. LEGAL DESCRIPTION OF PROP		
Township4SRange	11Sec	tion24Tax LotMultiple_8300, 8400
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TILLAMOOK COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT (Please remit fees with the completed application)

Date Received:	Receipt #:		
PROPERTY OWNER: Kiwanda Shores Beachfront ( Multiple Owners	Collective, McMahon (Applicant) PHONE:503-709-3813		
ADDRESS:_24727 SW Stafford RdCITY:Tual	latinSTATE:_ORZIP:97062		
1. LEGAL DESCRIPTION OF PROPERTY WHERE	E GRADING IS TO OCCUR.		
Township4SRange11	_Section24Tax LotMultiple		
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Date Received:	Receipt #:		
PROPERTY OWNER: Kiwanda Shores Multiple Owners	s Beachfront Collective, Stephen Hiroshige (Applicant) PHONE:503-709-3813		
ADDRESS:_24727 SW Stafford Rd	CITY:TualatinSTATE:ORZIP:97062		
1. LEGAL DESCRIPTION OF PROPE	ERTY WHERE GRADING IS TO OCCUR.		
Township4SRange	11Section24Tax LotMultiple		
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Signature of Applicant	Date Signed		
This permit is Valid O	nly with Tillamook County Approval Stamp Below		

Date Received:	Receipt #:		
PROPERTY OWNER: Frank Moscow  ADDRESS: 2222 NW Hoyt St Unit 302 CITY: Por	PHONE: 5039756955		
2222 NW Hoyt St Unit 302 orry. Por	tland STATE Or 71P 97210		
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3. FOREDUNE MANAGEMENT SUBAREA PLAN: Management Units D and E			
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Signature of Property Owner	Date Signed		
This permit is Valid Only with Tillamool	k County Approval Stamp Below		

Date Received: Receipt#:		
PROPERTY OWNER: Tralen and Ann Kelley PHONE (425) 591-4331		
ADDRESS: 17007 NE 21St ST. CITY: Bellevine STATE: Wa ZIP: 98008		
1. LEGAL DESCRIPTION OF PROPERTY WHERE GRADING IS TO OCCUR.		
Township 4S Range 11 Section 24 Tax Lot		
2. ADDRESS OF PROPERTY OWNER WHERE GRADING IS TO OCCUR: 34800 Doean Drive, Pacific City, JR 97135		
3. FOREDUNE MANAGEMENT SUBAREA PLAN: Management Units D and E		
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I certify that the information contained in this application, to the best of my knowledge, is complete and accurate. I further certify that I possess the authority to undertake the activities described herein.  I will obtain necessary Oregon Parks and Recreation Department permits before I do any of the activities described herein.		
Signature of Property Owner Date Signed		
Signature of Property Owner Date Signed		
This permit is Valid Only with Tillamook County Approval Stamp Below		

# EXHIBIT C

## **Pacific City**

## Foredune Management Plan:

MANAGEMENT STRATEGY

prepared for

**Pacific City Beachfront Homeowners Association** 

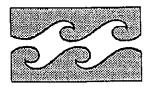
P.O. Box 601

Pacific City, OR 97135

by

Shoreland Solutions

P.O. Box 1046 Newport, OR 97365



**July 1998** 

DRAFT

### Preface

This document outlines a strategy for management of the foredune area fronting the rural community of Pacific City in Tillamook County, Oregon. The proposed strategy takes the form of recommendations on the types of sand management practices applicable within this area.

This document is one in a set of documents that together constitute the Pacific City Foredune Management Plan. Other documents in this set are: the Background Report, which reviews the factors affecting the stability of shoreline in the management area; the Monitoring Program, which describes the types of information to be collected and analyzed in order to evaluate the success of the management strategy; the Maintenance Program, which describes activities needed to ensure the success of the management strategy; and the implementing Ordinance, which is the formal mechanism for carrying out prescribed sand management practices. This set of documents is intended to address the requirements of Statewide Planning Goal 18: Beaches and Dunes - Implementation Requirement 7 and Section 3.08 (4)(C) (2) of the Tillamook County Land Use Ordinance regarding foredune grading.

This document was prepared by Shoreland Solutions at the request of the Pacific City Beachfront Homeowners Association.

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- Table 3. Setting, Objectives, and Management Practices for Management Unit B
- Table 4. Setting, Objectives, and Management Practices for Management Unit C
- Table 5. Setting, Objectives, and Management Practices for Management Unit D
- Table 6. Setting, Objectives, and Management Practices for Management Unit E
- Table 7. Setting, Objectives, and Management Practices for Management Unit F
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- Figure 10. Cross-sections Showing Profile Change over the Period 1967 to 1997 in Management Unit D
- Figure 11. Plan Map Showing Proposed Management Practices for Management Unit D.
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## **Pacific City**

## Foredune Management Plan:

MANAGEMENT STRATEGY

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### Appendix A:

Management Units, Transect Locations, and Key Characteristics along the Pacific City shoreline.

### **Pacific City**

### Foredune Management Plan:

MANAGEMENT STRATEGY

### Overview

The Pacific City foredune management area extends from Nestucca Spit State Park on the south to Cape Kiwanda State Park on the north (Figure 1). It encompasses the foredune area fronting the rural community of Pacific City in Tillamook County, Oregon. Its landward boundary is specifically defined as the seaward (western) wall-supporting foundation of existing structures and a direct line between the foundations where there is no structure.

At least since the late 1960's the shoreline along much of this area has exhibited a net seaward migratic... due to sand accumulation. Sand accumulation since the early 1980's has been dramatic. This increase in beach and dune sand volume has enhanced ocean flood/erosion protection potential. However, it has also presented problems for local residents and visitors alike, as the accumulating sand and the accompanying growth in height and width of the foredune area has led to the inundation of ocean front homes, the reduction of ocean views, and the restriction of beach access.

While much of the shoreline fronting Pacific City has experienced net accretion over the last 30 years, at least two episodes of erosion have occurred during this time. During one such episode in the the late 1970's Nestucca Spit was breached. Extensive foredune retreat occurred elsewhere along the Pacific City shoreline at this time and, as a result, as much as 2500 feet of riprap was placed above the shoreline along the central portion of the management area.

Following from the above, the overall objectives of the proposed foredune management strategy in order of priority are:

- To maintain or enhance ocean flood/erosion protective functions of the natural foredune area;
- To minimize inundation brought about by excessive accumulation of wind-blown sand and correspondingly maintain or enhance ocean views; and
- To maintain or enhance access to recreational uses associated with the open sand beach.

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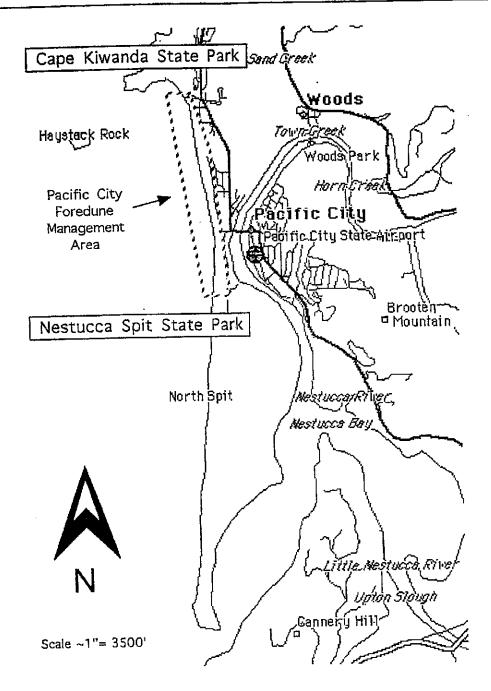


Figure 1. The Pacific City Foredune Management Area

The recognition of individual management units within the overall management area constitutes the framework of the proposed foredune management strategy (Figure 2 and Attachment A: for additional

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information see the Background Report). Individual management units are distinguished by the combination of physical and social settings that exist within each area. For each management unit the relative priority of the management objectives identified above is established on the same basis. The result is that different types of management practices are prescribed for different management units.

Initially, prescribed management practices will focus on areawide foredune grading and vegetative stabilization (Table 1). Under the proposed strategy foredune grading, specifically view grading, may be conducted in areas where the elevation of the foredune exceeds the "V-zone 100 year plus 4 foot' elevation. Grading down to the "V-zone 100 year plus 4 foot' elevation is allowed in these areas. As a basis for further defining the extent of grading in these areas, a design foredune configuration has been identified - a foredune area with sufficient height and width to withstand storm wave attack (Figure 3: for additional information see the Background Report). Under the proposed strategy it is envisioned that view grading will be conducted within smaller subareas within the individual management units. Priority will be given to the transfer of sand from high areas behind the foredune crest to low areas elsewhere along the crest and foreslope. Only after low areas within the subareas have been filled, will 'excess' sand (i.e. that which exists above and beyond prescribed foredune elevations and widths) be transferred seaward of the lower foreslope/ beachface so as to allow a combination of wave and wind-driven sediment transport to redistribute it.

Table 1. Type and Timing of Prescribed Management Practices

		PHASE	PHASE II	
,		Years 0 - 2	Years 3 - 5	
	Foredune Grading	•		
	Vegetative Stabilization	•		21
	Access Management	•	•	
	Monitoring	•	•	
	Maintenance	•	•	

Remedial grading is another type of foredune grading called for within the foredune management strategy. Remedial grading is defined as the limited transfer or removal of sand which has, or is soon to be, piled up against exterior walls, windows, doors, or decks and thus interferes or is about to interfere with access to or with the safe use or occupancy of existing structures. Unlike view grading which is carried out an areawide basis, it is envisioned that remedial grading will be conducted by individual property owners on an as needed basis. Although it is an activity that would occur outside of the

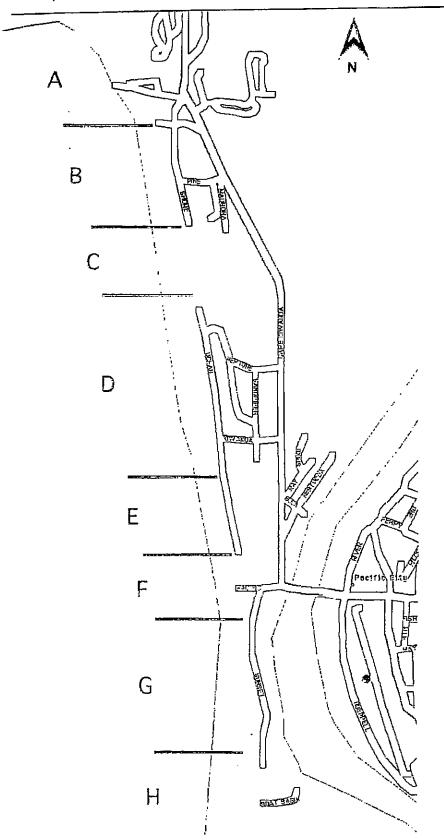


Figure 2. Pacific City Foredune Management Units (see also Appendix A).

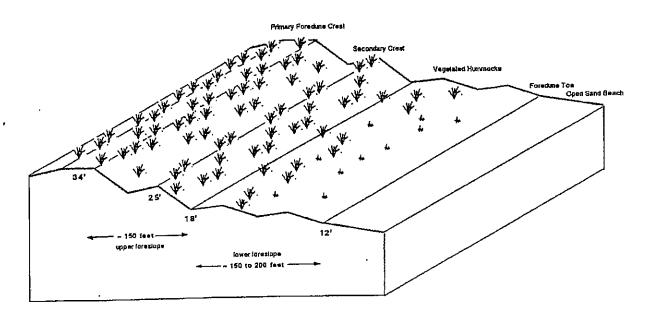


Figure 3. The Pacific City Design Foredune.

identified foredune management area, the proposed foredune management strategy also calls for the grading of vacant lots.

Typically, vegetative stabilization will be conducted in association with view grading. Primary grasses are to be planted in the graded areas along and directly landward of the foredune crest so as to stabilize these open sand areas and thereby reduce the potential for sand inundation. Primary grasses are also to be planted along the upper and lower foreslope. It is envisioned that the ability to capture and hold sand in these areas will encourage growth in foredune width as opposed to height, and thereby maintain flood/erosion protection potential as well as reduce the potential for sand inundation. The central portion of the management area is one location where less extensive planting is likely. Here, dwellings are fronted by riprap and lie in relatively close proximity to the shoreline. Other locations where planting is likely to be limited are in the vicinity of the Dory Boat Ramp and the Turnaround. Recreational use is particularly heavy in these areas.

Access management is another management practice prescribed throughout the management area under the proposed foredune management strategy. Access management is needed to address potential conflicts between vegetative stabilization and recreational use. It may involve, for example, placing informational and/or educational signs at identified points along the foredune to direct resident and visitors away from recently planted areas.

Although much of the first two years of foredune management efforts will focus on areawide foredune grading and vegetative stabilization, the proposed strategy also calls for areawide monitoring and maintenance during this time. Monitoring will typically involve biannual visual inspections and elevation surveys in 'active' management areas (i.e. those areas where areawide foredune grading and vegetative stabilization have been conducted). Maintenance measures may include remedial grading, noted above, as well as foreslope shaping and repair planting. In the years following initiation of prescribed management practices, monitoring and maintenance are likely to be the focus of foredune management efforts. Recommended project monitoring and maintenance measures are detailed in the Monitoring Program and Maintenance Program documents respectively.

The proposed foredune management strategies for each of the identified management units is given below. It includes a more detailed description of the setting, objectives, and prescribed management practices associated with each of the management units. Before proceeding, it should be noted that the exact specifications pertaining to foredune grading and vegetative stabilization within management units will be developed in the context of subarea plans. In this way the needs of individual property owners can be provided for in a manner consistent with the management unit strategies.

### Management Unit D

**Setting.** This management unit extends from the northern boundary line of the Kiwanda Shores Subdivision (the northern boundary of Tax Lot 7300) to just south of the boundary between the First and Fourth additions of the Kiwanda Shores Subdivision (the line between Tax Lots 8100 and 8200).

This segment of shoreline is characterized by a net accumulation of sand over the period 1967 to 1997. Specifically, portions of the foredune area have increased in width by as much as 270 feet and in height by as much as 25 feet during this time (Table 5; Figure 10a, 10b, and 10c). This area has also experienced episodic erosion. As much as 50 to 150 feet of foredune retreat has occurred on at least two occasions over the last 30 years.

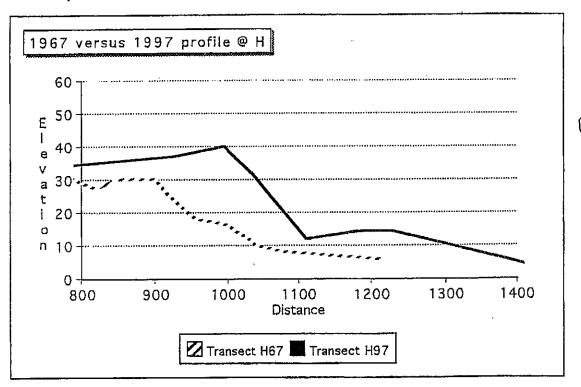


Figure 10a.

Cross-section Showing Profile Change over the Period 1967 to 1997 in Management Unit D.

Currently, foredune morphology along this segment of shoreline is characterized by a relatively high, narrow, graded profile ('Type A' morphology). The foredune crest along this segment of shoreline ranges from about 40 to 50 feet NGVD in elevation. The elevation of the foredune toe ranges from about 10 to

Table 5. Setting, Objectives, and Management Practices for Management Unit D (North to South Klwanda Shores)

#### Setting

#### · Net Accretion

1967 versus 1997 @ 10' contour +15' to 25 ' elevation width +135' to 270' elevation @ 20' contour +20' to 25 ' width +125' to 145' elevation 40' to 50' of primary foredune crest

· Episodic Erosion

50' to 150'

30' to 35'

- · 'Type A' morphology high, narrow, graded profile crest elevation 40' to 50' toe elevation 10' to 20' foreslope width 85' to 160'
- Poorly vegetated crest and backslope open sand/gravel to 30% patchy cover

toreslope

open sand/gravel to 30% patchy cover

- R2- residential dwelling elevation low ~50' to 70' from OPRD dwelling location Vegetation Line
- Moderate Recreational Use with Uncontrolled Access
- · Sand Inundation, extensive Riprap

### **Objectives**

- · Maintain Flood/Erosion Protection
- Minimize Sand Inundation and Enhance Ocean Views
  - · Maintain or Enhance Access

### **Management Practices**

· View Grading

<u>ei</u>	<u>evation</u>	loc	ation
Foundation	34'	@	0'
Primary Crest	34'	@	50'
Secondary Crest	25'	@	75'
Toe of Foreslope	12'	@	2001

Remedial Grading

30' seawa

Vegetative Stabilization

Backslope	open sand
Primary Crest	open sand
Secondary Crest	60 to 90% cover
Upper Foreslope	30 to 60% cover
Lower Fareslope	10 to 30% cover

- Access Management Sea Swallow Drive/Ocean Drive Kiwanda Drive/Ocean Drive
- · Monitoring and Maintenance

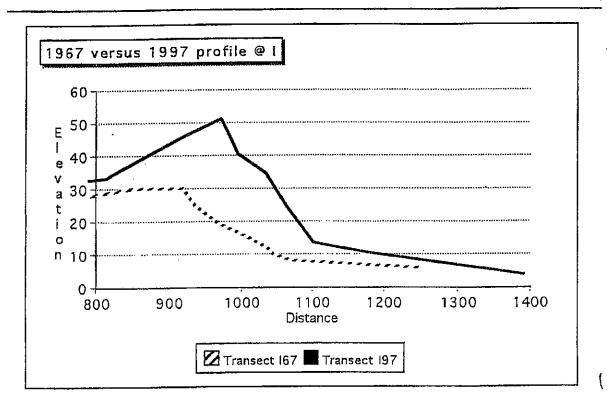


Figure 10b.

Cross-section Showing Profile Change over the Period 1967 to 1997 in Management Unit D.

20 feet NGVD. The width of the hummocky foreslope ranges from about 85 to 160 feet. The foredune area is poorly vegetated, with vegetation cover on the backslope, crest, and foreslope ranging from open sand and gravel to about 30%. Vegetation consists mostly of scattered patches of European Beachgrass, American Dunegrass, and Yellow Sand Verbena. Transverse open-sand dunes are evident along the crest and backslope. Gravel deflation surfaces are evident on the foreslope. Both of these features are indicative of active wind-driven sediment transport within this management unit.

Zoning along this segment of shoreline is R2- Medium Density Urban Residential. Correspondingly, most of the area is occupied by single family residential dwellings. With finished/garage floor elevations ranging from about 30 to 35 feet NGVD, dwellings are relatively low compared to the existing 'V-zone 100 year plus 4 foot' elevation. Dwellings are located at distances about 50 to 70 feet landward of the OPRD 1969 Statutory Vegetation Line. Several lots within this management unit are vacant. Well vegetated hummocks typically occupy these areas. Recreational use along this segment of shoreline is moderate compared to other portions of the management area. Also, homeowner access to the beach is uncontrolled along this segment of shoreline. Riprap is extensive in this management unit. It exists at the

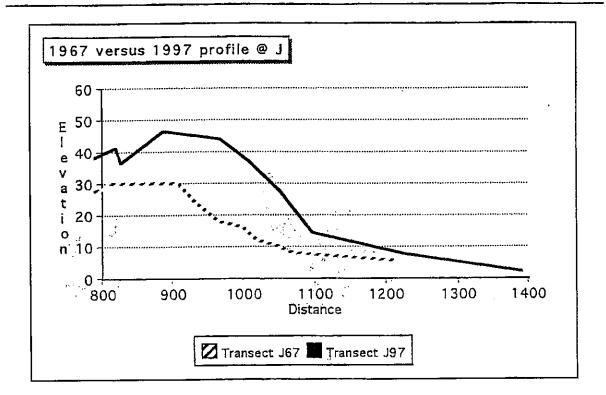


Figure 10c.

Cross-section Showing Profile Change over the Period 1967 to 1997 in Management Unit D.

top of the beach along almost the entire area. Drifting sand has been identified as a problem all along this segment of shoreline.

Management Objectives (with relative priority in bold)

- To maintain or enhance ocean flood/erosion protective functions of the natural foredune area;
- To minimize inundation brought about by excessive accumulation of wind-blown sand and correspondingly maintain or enhance ocean views; and
- · To maintain or enhance access to recreational uses associated with the open sand beach.

Recommendations. Prescribed management practices for this management unit are outlined in Table 5, illustrated in Figure 11, and summarized below.

· Sand Removal - The removal of sand from the foredune management area is prohibited under

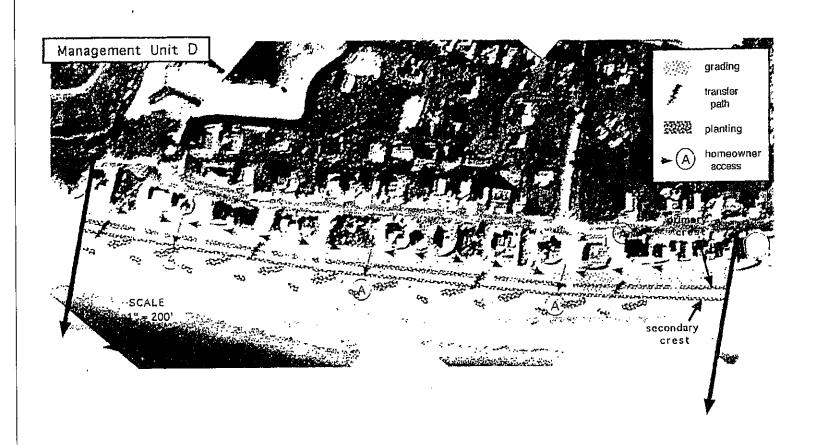


Figure 11. Plan Map Showing Proposed Management Practices for Management Unit D.

the proposed foredune management strategy.

• Foredune Grading - View grading down to the 'V-zone 100 year plus 4 foot' elevation may occur along the entire length of this management unit. Ideally, a primary foredune crest will be established at an elevation at or above the 'V-zone 100 year plus 4 foot' elevation and at a distance at least 50 feet seaward from the western foundation of oceanfront dwellings. At an elevation of approximately 25 feet NGVD, an irregular secondary foredune crest will be located approximately 25 feet seaward from the primary foredune crest. The lower foreslope will extend out a distance about 125 feet seaward from the secondary foredune crest and down to an elevation of about 12 feet NGVD.

View grading to these specifications will result in a foredune configuration that approximates the design minimum. This is deemed acceptable because of the existence of riprap along this segment of shoreline, which affords an increased level of flood/erosion protection, and the proximity of the dwellings to the shoreline, which limits the ability to encourage outward as opposed to upward growth of the foredune.

Graded sand is to be transferred seaward from high areas behind the foredune crest to low areas elsewhere along the crest and foreslope. In this regard, it is recommended that the grading of vacant lots be conducted in conjunction with view grading. This will facilitate more even growth of the foredune area and in turn reduce potential for sand inundation. After low areas have been filled consideration may be given to the transfer of excess sand seaward of the lower foreslope/ beachface so as to allow a combination of wave and wind-driven sediment transport to redistribute it.

Because limited vegetative stabilization is also part of the proposed strategy for this management unit (see below), it is envisioned that remedial grading will frequently be warranted. Remedial grading should be allowed on an as needed basis.

• Vegetative Stabilization - It was noted above that the proximity of the dwellings to the shoreline limits the ability to encourage outward as opposed to upward growth of the foredune. Efforts to use vegetation to establish a wide foredune in this area are likely to be thwarted by high wave runup and erosion during winter storms: Planting the entire foredune in this area is likely to result in primarily upward growth of the foredune. Therefore, in order to maintain ocean views it is recommended that the upper portion of the foredune area in this management unit remain as mostly open sand. (As noted above, this means that foredune grading may be needed on a regular basis).

An effort should be made to establish stand-stilling grasses along the lower portion of the foredune area in the management unit. Any sand that can be captured and held in this area will enhance flood/erosion protection potential as well as reduce the potential for sand inundation. Planting should occur immediately following view grading. Planting should be carried out so as to mimic natural vegetation patterns as much as possible. Specific planting recommendations for this management unit are as follows:

Along the secondary crest and foreslope plant primary grasses (e.g. 80% European Beachgrass and 20% American Dunegrass) at high densities (e.g. hill spacing of 12" with 5

culms per hill) to achieve as much as 60% cover over the area from about 25 feet to 18 feet NGVD in elevation and plant primary grasses (e.g. 80% European Beachgrass and 20% American Dunegrass) at moderate densities (e.g. hill spacing of 18" with 3 culms per hill) to achieve as much as 30% cover over the area from about 18 feet to 14 feet NGVD in elevation. Vegetation planted below an elevation of about 16 feet NGVD is best viewed as sacrificial, in that it may well be lost during winter storms and as a result need to be replanted on a regular basis.

In all cases, planting should be carried out during rainy months (November through April) before and/or after winter storms, when temperatures are between 32 and 60 degrees F and the sand is wet at a 3 inch depth. Preferably immediately after planting, fertilize with ammonium sulfate fertilizer (N-P-K:21-0-0) at a rate of ~200 - 400 pounds per acre, with follow up fertilization again in the subsequent late fall or early spring rainy period (after SCS, 1991).

- Access Management Access management measures warranted in this area include the posting of signs identifying sensitive foredune areas and directing not only recreational users, but homeowners away from these areas. In this regard it is recommended that homeowner access paths be established in the vicinity of the intersections between Sea Swallow/Ocean Drives and Kiwanda/Ocean Drives. Consideration may also be given to establishing a third homeowner access path between these two locations.
- Monitoring and Maintenance Recommended monitoring and maintenance measures are detailed in the Monitoring Program and Maintenance Program documents respectively.

#### Management Unit E

**Setting.** This management unit extends from just south of the boundary between the First and Fourth additions of the Kiwanda Shores Subdivision (the line between Tax Lots 8100 and 8200) to just north of the Turnaround (the line between Tax Lots 9200 and 9300).

This segment of shoreline is characterized by a net accumulation of sand over the period 1967 to 1997. Specifically, portions of the foredune area have increased in width by as much as 140 feet and in height by as much as 25 feet during this time (Table 6; Figure 12). This area has also experienced episodic erosion. As much as 50 to 150 feet of foredune retreat has occurred on at least two occasions over the last 30 years.

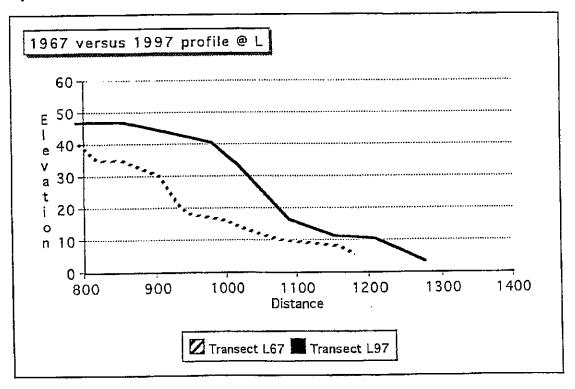


Figure 12.

Cross-section Showing Profile Change over the Period 1967 to 1997 in Management Unit E.

Currently, foredune morphology along this segment of shoreline is characterized by a relatively high, narrow, graded profile ('Type A' morphology). The foredune crest along this segment of shoreline ranges from about 40 to 50 feet NGVD in elevation. The elevation of the foredune toe is about 18 feet NGVD.

The width of the hummocky foreslope ranges from about 85 to 110 feet. The foredune area is poorly vegetated, with vegetation cover on the backslope, crest, and foreslope ranging from open sand and gravel to about 30%. Vegetation consists mostly of scattered patches of European Beachgrass. American Dunegrass, and Yellow Sand Verbena. Transverse open-sand dunes are evident along the crest and backslope. Gravel deflation surfaces are evident on the foreslope. Both of these features are indicative of active wind-driven sediment transport within this management unit.

Zoning along this segment of shoreline is R2- Medium Density Urban Residential. Correspondingly, most of the area is occupied by single family residential dwellings. With finished/garage floor elevations ranging from about 30 to 43 feet NGVD, dwellings are relatively high compared to the existing "V-zone 100 year plus 4 foot' elevation. Dwellings are located at distances about 50 to 70 feet landward of the OPRD 1969 Statutory Vegetation Line. Recreational use along this segment of shoreline is moderate compared to other portions of the management area. Also, homeowner access to the beach is uncontrolled along this segment of shoreline. Riprap is extensive in this management unit. It exists at the top of the beach along almost the entire area. Drifting sand has been identified as a problem all along this segment of shoreline.

### Management Objectives (with relative priority in bold)

- · To maintain or enhance ocean flood/erosion protective functions of the natural foredune area;
- To minimize inundation brought about by excessive accumulation of wind-blown sand and correspondingly maintain or enhance ocean views; and
- · To maintain or enhance access to recreational uses associated with the open sand beach.

Recommendations. Prescribed management practices for this management unit are outlined in Table 6, illustrated in Figure 13, and summarized below.

- Sand Removal The removal of sand from the foredune management area is prohibited under the proposed foredune management strategy.
- Foredune Grading View grading down to the "V-zone 100 year plus 4 foot' elevation may occur along the entire length of this management unit. Ideally, a primary foredune crest will be established at an elevation at or above the "V-zone 100 year plus 4 foot' elevation and at a distance at least 50 feet seaward from the western foundation of oceanfront dwellings. At an elevation of approximately 25 feet NGVD, an irregular secondary foredune crest will be located approximately 25 feet seaward from the primary foredune crest. The lower foreslope will extend out a distance about 125 feet seaward from the secondary foredune crest and down to an elevation of about 12 feet NGVD.

View grading to these specifications will result in a foredune configuration that approximates the

Table 6. Setting, Objectives, and Management Practices for Management Unit E (South Klwanda Shores to the Turnaround)

#### Setting

#### · Net Accretion

- Episodic Erasion 50' to 150'
- 'Type A' morphology
   high, narrow, graded profile
   crest elevation 40' to 50'
   toe elevation 17' to 19'
   foreslope width 85' to 110'
- Poorly vegetated crest and backslope open sand/gravel to 30% patchy cover foreslope

open sand/gravel to 30% patchy cover

- Moderate Recreational Use with Uncontrolled Access
- · Sand Inundation, extensive Riprap

#### **Objectives**

- · Maintain Flood/Erosion Protection
- Minimize Sand Inundation and Enhance Ocean Views
  - Maintain or Enhance Access

#### Management Practices

· View Grading

* <u>el</u> t	<u>elevation</u>		location	
Foundation	34'	@	O'	
Primary Crest	34'	@	50'	
Secondary Crest	25'	@	75'	
Toe of Foreslope	12'	@	200'	

- Remedial Grading 30' seaward

Vegetative Stabilization

Backslope open sand
Primary Crest open sand
Secondary Crest 60 to 90% cover
Upper Foreslope 30 to 60% cover
Lower Foreslope 10 to 30% cover

- Access Management Central Portion of Management Unit
- Monitoring and Maintenance

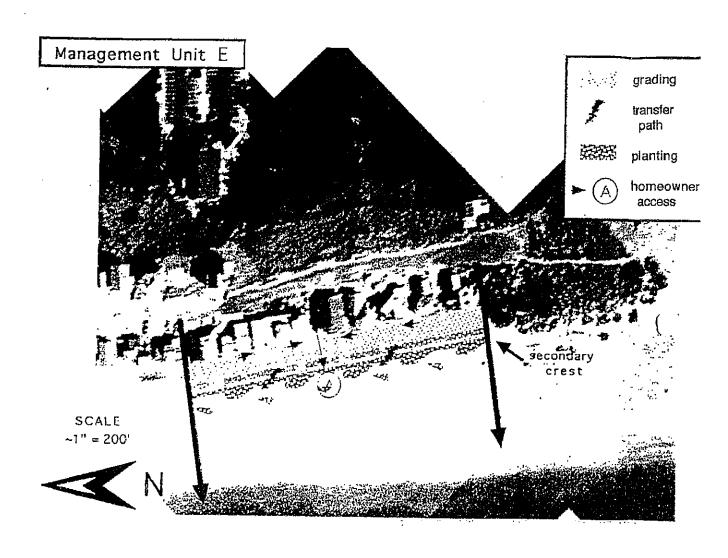


Figure 13. Plan Map Showing Proposed Management Practices for Management Unit E.

design minimum. This is deemed acceptable because of the existence of riprap along this segment of shoreline, which affords an increased level of flood/erosion protection, and the proximity of the dwellings to the shoreline, which limits the ability to encourage outward as opposed to upward growth of the foredune.

Graded sand is to be transferred seaward from high areas behind the foredune crest to low areas elsewhere along the crest and foreslope. After low areas have been filled consideration may be given to the transfer of excess sand seaward of the lower foreslope/ beachface so as to allow a combination of wave and wind-driven sediment transport to redistribute it.

Because limited vegetative stabilization is also part of the proposed strategy for this management unit (see below), it is envisioned that remedial grading will frequently be warranted. Remedial grading should be allowed on an as needed basis.

• Vegetative Stabilization - It was noted above that the proximity of the dwellings to the shoreline limits the ability to encourage outward as opposed to upward growth of the foredune. Efforts to use vegetation to establish a wide foredune in this area are likely to be thwarted by high wave runup and erosion during winter storms: Planting the entire foredune in this area is likely to result in primarily upward growth of the foredune. Therefore, in order to maintain ocean views it is recommended that the upper portion of the foredune area in this management unit remain as mostly open sand. (As noted above, this means that foredune grading may be needed on a regular basis).

An effort should be made to establish stand-stilling grasses along the lower portion of the foredune area in the management unit. Any sand that can be captured and held in this area will enhance flood/erosion protection potential as well as reduce the potential for sand inundation. Planting should occur immediately following view grading. Planting should be carried out so as to mimic natural vegetation patterns as much as possible. Specific planting recommendations for this management unit are as follows:

Along the secondary crest and forestope plant primary grasses (e.g. 80% European Beachgrass and 20% American Dunegrass) at high densities (e.g. hill spacing of 12" with 5 culms per hill) to achieve as much as 60% cover over the area from about 25 feet to 18 feet NGVD in elevation and plant primary grasses (e.g. 80% European Beachgrass and 20% American Dunegrass) at moderate densities (e.g. hill spacing of 18" with 3 culms per hill) to achieve as much as 30% cover over the area from about 18 feet to 14 feet NGVD in elevation. Vegetation planted below an elevation of about 16 feet NGVD is best viewed as sacrificial, in that it may well be lost during winter storms and as a result need to be replanted on a regular basis.

in all cases, planting should be carried out during rainy months (November through April) before and/or after winter storms, when temperatures are between 32 and 60 degrees F and the sand is wet at a 3 inch depth. Preferably immediately after planting, fertilize with ammonium sulfate fertilizer (N-P-K:21-0-0) at a rate of ~200 - 400 pounds per acre, with follow up fertilization again in the subsequent late fall or early spring rainy period (after SCS, 1991).

- Access Management Access management measures warranted in this area include the posting of signs identifying sensitive foredune areas and directing not only recreational users, but homeowners away from these areas. In this regard it is recommended that a homeowner access path be established in the central portion of this management unit.
- Monitoring and Maintenance Recommended monitoring and maintenance measures are detailed in the Monitoring Program and Maintenance Program documents respectively.

# EXHIBIT D

## **Pacific City**

#### Foredune Management Plan: Maintenance and Monitoring Program

#### Introduction

Monitoring and maintenance of the foredune system has been identified as an essential element of the Pacific City Foredune Management Plan. These actions are a necessary follow-up to initial implementation. Monitoring of the foredune is needed to evaluate the success of the management strategy and identify actions needed to maintain the integrity of the foredune system. Monitoring will focus on regular inspection of active management areas and baseline data collection over a five-year period following implementation of the plan. At the end of the five-year period, a detailed evaluation of the foredune management strategy should be conducted and summarized in a report. The evaluation should involve not only a determination of the extent to which the plan objectives have been achieved, but also a review and update of the background information upon which the strategy is based. Regular maintenance will generally involve repair planting and fertilization of sand stilling grasses. In later years, planting of secondary species may occur in some areas. Maintenance may also involve foreslope shaping and remedial grading.

#### **Monitoring Inspections**

Monitoring Inspections involves visual inspections by a qualified professional on a quarterly basis and after severe winter storms. The purpose of these inspections is to evaluate the condition of the foredune area so as to determine what types of maintenance measures might be warranted. For example, areas will be identified where repair planting is needed. Similarly, determinations will be made as to whether remedial grading is needed. Areas where foreslope shaping is appropriate as a response to erosion during winter storm events might also be identified. Finally, the condition of beach access points will also be examined. Such regular inspections also provide the basis for midcourse corrections to the foredune strategy. Quarterly inspections shall include determination of graded areas, planted areas, condition of transfer and access points, vegetative coverage, and crest/profile conditions.

#### Vegetation Management

Repair planting will generally be needed to maintain plant cover due to damage by erosion or trampling, grading activities, as well as incomplete survival of initial plantings. The foreslope and crest of foredunes, and other more exposed areas with less than 30% vegetative cover should be replanted with beachgrass at high densities, as described in the management strategy. The backslope of foredunes, and other less exposed areas with less than 60% vegetative cover should be replanted with beachgrass at lower densities. Repair plantings should be fertilized immediately after planting with 21-0-0 ammonium sulfate at a rate of 2.5 pounds per 1000 square feet and watered. In all areas where new



plantings are getting established fertilizer should be applied during the spring and fall to maintain continued plant vigor.

Secondary plantings may be established in the backslope areas. This should be done when initial stabilizing vegetation is well established (generally after two years). Plants appropriate for secondary stabilization include salal, evergreen huckleberry, shore pine, purple beach pea, seashore lupine, and tree lupine. Planting of secondary species should occur directly in the existing stand of beachgrass. Care should be taken to minimize removal or destruction of beach grass so that it can continue to stabilize the area while secondary species become established. Succession should occur naturally since beachgrass tends to thin out and die where it is cut off from sand accretion.

#### Foreslope Shaping

Foreslope shaping, limited principally to redistribution of sand presently in the foreslope area, is an appropriate maintenance measure when:

- The crest and foreslope are so dissected and irregular that they significantly impede proper growth of the foredune. In this instance, shaping will involve evening of crest height as well as evening of the foreslope to an angle between 25 and 33 degrees.
- The foreslope is scarped in response to wave undercutting. In this instance, shaping will involve grading a portion of the crest just large enough to fill in the foreslope to an angle between 25 and 33 degrees.
- The foreslope is being nourished with sand from outside the management unit. In this
  instance, shaping will involve filling in the foreslope to an angle between 25 and 33
  degrees.

In all instances, foreslope shaping should be carried out so as to minimize disturbance (i.e. moving as little sand as possible and tapering shaped areas into unshaped areas). Vegetated areas that are not seriously damaged or buried in more than three feet of sand should be immediately fertilized. Areas graded more than three feet in height or buried in more than three feet of sand should be immediately replanted and fertilized.

#### Remedial Grading

Remedial grading refers to the clearing of sand necessary to maintain the function of an allowed use. Removal of sand that has accumulated along streets qualifies as remedial grading. Removal of sand which has piled up against exterior walls, doors, or windows, and blocks access or may cause damage to a structure also qualifies as remedial grading. In this regard, recommendations for remedial grading around residential or commercial structures are as follows:



- Oceanfront yards: Sand may be removed to the level of the top sill of the foundation within 20 to 30 feet of the structure. From the sill level, the graded area should slope upward to the elevation of the fronting foredune. This slope should not exceed 2:1.
- Side yards: Sand may be removed to the top of the sill of the foundation within 5 to 10 feet of the structure. From the sill level, the graded area should slope upward to match adjacent grade. This slope should not exceed 2:1.
- Front yards: All sand that is landward of the structure may be removed to the top of
  the sill of the foundation, provided grading in this area does not create a slope in
  excess of 2:1 with adjacent properties. Grading should not lower the front yard below
  the level of adjacent streets or reads, except to clear driveways.

Areas graded more than three feet in height should be immediately replanted and fertilized. All graded sand must remain within the management area. Preferably, graded sand should be used to fill low dune areas within individual management units. However, graded sand may also be used to nourish adjacent management units.

#### Access Management

Plant species used for stabilization are particularly vulnerable to trampling. However, it is unrealistic to expect that pedestrian or vehicular traffic in recently planted foredune areas can be completely restricted. Thus, foredune stabilization needs to be carried out while simultaneously providing for recreational use of the foredune area.

Initially, access management should emphasize resident and visitor education and encourage voluntary cooperation with foredune management efforts. In this regard, informational signs need to be prepared. The purpose of these signs is to identify sensitive foredune areas and direct recreational users away from these areas. These signs should be placed at identified access points as shown in the Management Strategy. In some instances, signing may need to be accompanied by more formal access management measures, namely post and rope fencing.

The success of initial efforts to direct recreational users away from sensitive foredune areas is to be evaluated in the context of project monitoring. Should initial efforts fail, then consideration needs to be given to implementation of more strict access management measures. Such measures include extensive post and rope fencing of identified access trails, wooden walkover structures, and temporary access restriction using fencing in particularly sensitive foredune areas. (e.g. recently graded newly planted areas, repaired areas, highly dissected established foredune areas.



## EXHIBIT E

#### Sarah Absher

From:

Sarah Thompson

Sent:

Wednesday, August 13, 2025 10:03 AM

To:

Sarah Absher

Subject:

FW: #851-24-000566-PLNG

Public Works Comment below on #851-24-000566-PLNG.

From: Brian Olle <bri> drian.olle@tillamookcounty.gov>

Sent: Monday, May 5, 2025 2:20 PM

To: Sarah Thompson <sarah.thompson@tillamookcounty.gov>

Cc: Allison Chase <Allison.Chase@tillamookcounty.gov>

Subject: RE: #851-24-000566-PLNG

No comment or concerns from Public Works.

Thanks,

Brian Olle, P.E. | Engineering Project Manager

TILLAMOOK COUNTY | Public Works

Cell: (503)812-6569

From: Sarah Thompson <sarah.thompson@tillamookcounty.gov>

Sent: Monday, May 5, 2025 1:21 PM

**To:** Sarah Absher < Sarah. Absher@tillamookcounty.gov > Cc: Allison Chase < Allison. Chase@tillamookcounty.gov >

Subject: #851-24-000566-PLNG

Good afternoon,

Please see the link below for the Notice of Application #85-24-000566-PLNG for a Foredune Grading Request.

https://www.tillamookcounty.gov/commdev/project/851-24-000566-plng

Thanks,



Sarah Thompson (she/her) | Office Specialist 2
TILLAMOOK COUNTY | Surveyor Department
1510-B Third Street
Tillamook, OR 97141
Phone (503) 842-3408 x3423
Sarah.thompson@tillamookcounty.gov