

TILLAMOOK COUNTY PLANNING COMMISSION

LOCATION

Port of Tillamook Bay Conference Center
4000 Blimp Boulevard, Tillamook, OR 97141

HEARING DATE

May 25, 2023- Beginning at 7:00p.m.

VIRTUAL & TELECONFERENCE MEETING INFORMATION

*For teleconference access the evening of the hearing, please call 971-254-3149. Conference ID: 887 242 77#. Virtual Meeting Access: <https://www.co.tillamook.or.us/commdev>. Click on Virtual Teams Link. *Microsoft Teams Meeting Format.*

I. CALL TO ORDER

II. ROLL CALL

III. OLD BUSINESS:

#851-23-000009-PLNG: Request for tentative subdivision plat approval of “Riverview Meadows Phase 3”, a 36-lot subdivision proposed on a property located within the City of Nehalem Urban Growth Boundary. The subject property is zoned Nehalem Medium-Density Residential (NH_R1) and Nehalem Residential Trailer (NH_Rt). The subject property is accessed via Riverview Meadows Lane, a private road, and designated as Tax Lot 3600 of Section 23B, Township 3 North, Range 10 West of the Willamette Meridian, Tillamook County, Oregon.

IV. NEW BUSINESS:

V. PLANNING COMMISSION ELECTIONS

VI. AUTHORIZATION FOR CHAIR TO SIGN APPROPRIATE ORDERS, IF NECESSARY

VII. ADMINISTRATIVE DECISIONS: Administrative Decisions are available for public review on the Tillamook County Department of Community Development website: <https://www.co.tillamook.or.us/commdev/landuseapps>

VIII. HOUSING COMMISSION UPDATE

IX. DEPARTMENT OF COMMUNITY DEVELOPMENT REPORT

X. ADJOURNMENT

The Port of Tillamook Bay Conference Center is accessible to citizens with disabilities. If special accommodations are needed for persons with hearing, visual, or manual impairments that wish to participate in the meeting, please contact 1-800-488-8280x3423 at least 24 hours prior to the meeting in order that appropriate communications assistance can be arranged.



Land of Cheese, Trees and Ocean Breeze

MEMO

Date: May 18, 2023
To: Tillamook County Planning Commission
From: Sarah Absher, CFM, Director *SAH*
Subject: Riverview Meadows Phase 3 Subdivision Request #851-23-000009-PLNG

Riverview Meadows Phase 3 supplemental and updated materials are attached. Comments from Tillamook County Public Works are also included.

If you have any questions about the information received, please do not hesitate to contact me or Lynn Tone, Office Specialist 2.

Thank You,

Sarah Absher

Sarah Absher

From: Chris Laity
Sent: Thursday, May 18, 2023 3:00 PM
To: Sarah Absher
Cc: Ron Newton
Subject: Riverview Meadows Phase III Review

I recommend that the following specific items be added to conditions of approval for preliminary plat.

1. The easements list Vern Scovell as the Grantor, and Riverview Meadows Development, LLC as the grantee.

Carey Sheldon signs on behalf of Riverview Meadows.

ASSIGNEE:
Riverview Meadows Development LLC


**Carey Sheldon, President of
Sheldon Development Inc., Member**

Please have Riverview Meadows Development LLC provide proof that Sheldon Development Inc has permission to sign on their behalf or that Carey Sheldon as a member of Riverview Meadows Development LLC has permission to sign on behalf of the LLC.

2. County Counsel needs to review CC&R's before final platting.
3. Linework on Sheet #2, does not reflect the easement recorded at 2023-001909. Modify the design to lie within the easement.

Tillamook County Public Works will provide additional comments to be addressed during construction plan review.



Chris Laity, P.E. | Director
TILLAMOOK COUNTY | Public Works
503 Marolf Loop Road
Tillamook, OR 97141
Phone (503) 842-3419
claity@co.tillamook.or.us

Date: May 8, 2023

Sarah Absher
Tillamook County Planning
1510-B Third Street
Tillamook, OR. 97141

Re: Riverview Meadows Phase III - Additional Materials

Dear Sarah:

Please find supplemental materials addressing concerns expressed by the Public Works Director, Chris Laity at the April 13, 2023 Planning Commission hearing. These items are provided according to the schedule established by the Commission to allow Mr. Laity time to complete his review prior to the May 22, 2023 continued public hearing.

1. **Revised Plan Sheets 1 - 13** - Sheets 2, 5, and 7 - 13 of the plan set have been revised to redesign Riverview Drive (new access road) from North Fork Road. With these changes, no part of this road is now located on tax lot 700 but has been shifted onto a portion of tax lots 502 and 503 currently owner by Vern Scovell. As noted below, new non-exclusive access and utility easements has also been recorded on tax lots 502 and 503 as well as a 20-foot construction easement to accommodate the construction this road. All sheets related to the location, grading and utilities associated with this road have been revised.
2. **New Easements** - several new easements have been executed to accommodate the location of the new access road and the drainage needs of the development as detailed below.
 - A new access easement on tax lots 502 and 503 for Riverview Drive.
 - A new construction easement on tax lots 502 and 503 to facilitate the construction of Riverview Drive.
 - The assignment of the existing drainage easement granted with Phase I located on Tract A from Vern Scovell to the new Riverview Meadows, LLC.
 - Transfer of existing drainage easements from Vern Scovell to Riverview Meadows, LLC and granting of a non-exclusive drainage easement across Riverview Drive from tax lot 800 to tax lot 503.
 - The granting of a non-exclusive access easement across Tracts B and C of Riverview Meadows.
3. **Modified Preliminary CC&R** - the preliminary CC&R have been modified slightly to reflect current ownership entity details. This document is still its preliminary form and may see additional revisions prior to final plat review.

We look forward to reviewing these materials with the Planning Commission at the May 22 hearing. Please do not hesitate contacting me with any questions.

Sincerely,

Tracy A. Brown

Tracy Brown
Tracy Brown Planning Consultants, LLC

Attachments:

- Revised Preliminary Plat Sheets 1 - 13
- Various Easements
- Revised Preliminary Riverview Meadows CC&R

Tillamook County, Oregon
05/08/2023 03:16:13 PM
DEED-ASAGR
\$10.00 \$11.00 \$81.00 \$10.00 - Total = \$92.00

2023-001905



00235243202300019050020028

I hereby certify that the within instrument was received for record and recorded in the County of Tillamook, State of Oregon.

Tassi O'Neil, Tillamook County Clerk

AFTER RECORDING RETURN TO:

Riverview Meadows Development LLC
23765 SE Highway 212
Damascus, OR 97089

SEND TAX STATEMENT TO:

Riverview Meadows Development LLC
23765 SE Highway 212
Damascus, OR 97089

SPACE ABOVE RESERVED FOR RECORDING LABEL

ASSIGNMENT OF DRAINAGE EASEMENT AGREEMENT

Know by all persons present, that Vern Scovell and Riverview Meadows, LLC, an Oregon Limited Liability Company ("Assignors"), for consideration of the mutual promises exchanged herein and other good and valuable consideration exchanged with Riverview Meadows Development LLC, ("Assignee"), does hereby assign, transfer, and convey all of Assignors' title, right, obligations, and interest in that certain Drainage Easement Agreement, in the County of Tillamook and recorded May 21st, 2009, as Instrument No. 2009-003658 in the Official Records of Tillamook County, Oregon.

[SIGNATURE PAGE FOLLOWS]

The parties above named have hereunto set their hands this 8 day of May, 2023.

ASSIGNORS:

ASSIGNEE:

Riverview Meadows Development LLC

Vern Scovell
Vern Scovell, individually

Carey Sheldon
Carey Sheldon, President of
Sheldon Development Inc., Member

Vern Scovell
Vern Scovell, Member
Riverview Meadows, LLC

STATE OF OREGON
County of Tillamook

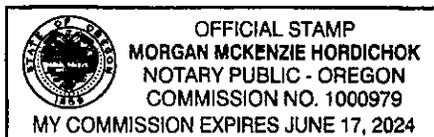


This instrument was acknowledged before me on May 5th, 2023, by Vern Scovell, the above-named Assignee, and Member of Assignee.

[Signature]
Notary Public for Oregon
My Commission expires: March 7, 2025

STATE OF OREGON
County of Clackamas

This instrument was acknowledged before me on May 8th, 2023, by Carey Sheldon, President of Sheldon Development Inc., Member of the above-named Assignor.



[Signature]
Notary Public for Oregon
My Commission expires: 06-17-2024



I hereby certify that the within instrument was received for record and recorded in the County of Tillamook, State of Oregon.

Tassi O'Neil, Tillamook County Clerk

AFTER RECORDING RETURN TO:

Riverview Meadows Development LLC
23765 SE Highway 212
Damascus, OR 97089

SEND TAX STATEMENT TO:

NO CHANGE

SPACE ABOVE RESERVED FOR RECORDING LABEL

EASEMENT

Know by all persons present, that Vern Scovell ("Grantor"), for consideration of the mutual promises exchanged herein and other good and valuable consideration exchanged with Riverview Meadows Development LLC, ("Grantee"), does hereby grant a non-exclusive easement for public access over, under and across the real property described herein, for the benefit of the real property as described herein, all being more particularly described herein.

EASEMENT RECITALS

A. Grantor is the owner of the real property ("Parcel 1") being legally described as Tract C, Riverview Meadows Phase 1, in document number 2010-004288.

B. Grantee is the owner of the real property ("Parcel 2") being legally described as follows:

Tract B, RIVERVIEW MEADOWS PHASE I, situated in the Northwest quarter of Section 23, Township 3 North, Range 10 West, Willamette Meridian, County of Tillamook, State of Oregon, recorded July 26, 2010 as Instrument No. 2010-004288, Tillamook County Records.

C. Parcel 1 and Parcel 2 are in close proximity to each other and are, or will be, connected by way of an additional public easement.

D. It is the intent of the parties herein named to create a non-exclusive, public access, and permanent right to enter, re-enter, and use Parcel 1, subject to conditions as set forth herein, for the benefit of Grantee's Parcel 2, and the general public.

E. The non-exclusive easement will be used for public and private ingress and egress purposes, and for public and/or private utilities, by the general public, by Grantee, and by Grantee's successors in ownership of Grantee's Parcel 2.

No Consideration

F. Additionally, the non-exclusive easement for public access and public and/or private utilities, shall also include the right to lay, construct, and maintain streets, water mains, sewer mains, storm drainage lines, and all related appurtenances, to be constructed and located on, across, under or over Parcel 1.

G. The parties agree that any unknown defect in the above Easement Area due to inaccuracy will not hinder the intent of the parties.

IT IS FURTHER UNDERSTOOD and AGREED:

1. The foregoing Easement Recitals paragraphs are contractual and not merely recitals, and are incorporated by this reference.
2. The rights and obligations of all the easements herein shall run with and be appurtenant to those parcels of land as described, and shall not be personal to any person, except that the obligation to pay for the costs and expenses (for costs and expenses incurred while a person was an owner) shall be personal to the owners of the described parcels, as well as run with the described parcels.
3. Grantee, and the general public shall have a non-exclusive, public access, and permanent right to enter, re-enter, and use Parcel 1, subject to conditions as set forth herein, for the benefit of Grantee's Parcel 2. The easement shall include the right of the Grantor or Grantee to reasonably improve the surface of the easement area herein described; costs of any improvements to the easement area shall be borne by Grantee, their successors and assigns. Any improvement to the easement area shall be in compliance with all applicable local, state, and federal law.
4. Grantee shall have a non-exclusive easement for public access and public and/or private utilities, to include the right to lay, construct, and maintain streets, water mains, sewer mains, storm drainage lines, and all related appurtenances, to be constructed and located on, across, under or over Parcel 1.
5. Grantor agrees that the consideration recited herein is just compensation for the property rights herein granted.
6. Grantor represents and warrants that Grantor has the authority to grant the easement and that the easement area is free from all liens and encumbrances that would materially affect the easement grant, and that they will defend this easement grant against all lawful claims and demands of all persons whomsoever with respect to any liens or encumbrances that would materially affect the easement grant.

[SIGNATURE PAGE FOLLOWS]

The parties above named have hereunto set their hands this 8 day of May, 2023.

GRANTOR:

GRANTEE:

Riverview Meadows Development LLC

Vern Scovell
Vern Scovell

Carey Sheldon
Carey Sheldon, President of
Sheldon Development Inc., Member

STATE OF OREGON

County of Tillamook

This instrument was acknowledged before me on May 8th, 2023, by Vern Scovell, the above-named Grantor, and Member of Grantee.

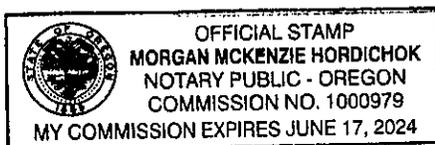


[Signature]
Notary Public for Oregon
My Commission expires: March 7, 2025

STATE OF OREGON

County of Clackamas

This instrument was acknowledged before me on May 8th, 2023, by Carey Sheldon, President of Sheldon Development Inc., Member of the above-named Grantee.



[Signature]
Notary Public for Oregon
My Commission expires: 06-17-2024



00235245202300019070070076

AFTER RECORDING RETURN TO:

Riverview Meadows Development LLC
23765 SE Highway 212
Damascus, OR 97089

I hereby certify that the within instrument was received for record and recorded in the County of Tillamook, State of Oregon.

Tassi O'Neil, Tillamook County Clerk

SEND TAX STATEMENT TO:

Riverview Meadows Development LLC
23765 SE Highway 212
Damascus, OR 97089

SPACE ABOVE RESERVED FOR RECORDING LABEL

DRAINAGE EASEMENT

Know by all persons present, that Vern Scovell, and Vern Ray Scovell, Trustee, his successor in trust, of The Vern Scovell Trust dated November 9, 2021 ("Grantor"), for consideration of the mutual promises exchanged herein and other good and valuable consideration exchanged with Riverview Meadows Development LLC, ("Grantee"), does hereby grant a non-exclusive easement for the runoff of storm drainage over, under and across the real property described herein, for the benefit of the real property as described herein, all being more particularly described herein.

EASEMENT RECITALS

A. Grantor has legal interest in, and may be the owner of, some of the real property ("Parcel 1") being legally described in the attached **Exhibit A**, which shall encompass the property described in the recitals herein.

B. Grantee is the owner of the real property ("Parcel 2") being legally described as follows:

Tract B, RIVERVIEW MEADOWS PHASE I, situated in the Northwest quarter of Section 23, Township 3 North, Range 10 West, Willamette Meridian, County of Tillamook, State of Oregon, recorded July 26, 2010 as Instrument No. 2010-004288, Tillamook County Records.

C. Parcel 1 and Parcel 2 are in close proximity to each other.

D. It is the intent of the parties herein named to create a non-exclusive, permanent right to enter, re-enter, and use Parcel 1, subject to conditions as set forth herein, for the benefit of Grantee's Parcel 2.

E. The non-exclusive easement, under, over and through the Easement Area, will be used for the purpose of providing the runoff of storm drainage, and, if necessary, the maintenance of any appurtenant drainage facilities and all other accommodations, to allow the runoff of such storm drainage. Grantee shall also have the specific rights of

No Consideration

ingress and egress, consistent with the easement provided herein to provide for, and facilitate, the runoff of storm drainage.

F. The parties agree that any unknown defect in the above Easement Area due to inaccuracy will not hinder the intent of the parties.

IT IS FURTHER UNDERSTOOD and AGREED:

1. The foregoing Easement Recitals paragraphs are contractual and not merely recitals, and are incorporated by this reference.
2. The rights and obligations of all the easements herein shall run with and be appurtenant to those parcels of land as described, and shall not be personal to any person, except that the obligation to pay for the costs and expenses (for costs and expenses incurred while a person was an owner) shall be personal to the owners of the described parcels, as well as run with the described parcels.
3. Grantee shall have a non-exclusive, and permanent right to enter, re-enter, and use a portion of Parcel 1 being legally described, and pictorially described, in the attached **Exhibit B**, subject to conditions as set forth herein, for the benefit of Grantee's Parcel 2. The easement shall include the right of the Grantor or Grantee to provide for the runoff of storm drainage, and, if necessary, to construct and maintain any appurtenant drainage facilities, and all other accommodations, to allow the runoff of storm drainage. Grantee shall also have the specific rights of ingress and egress, consistent with the easement provided herein. The costs of any improvements to the easement area shall be borne by Grantee, their successors and assigns. Any improvement to the easement area shall be in compliance with all applicable local, state, and federal law.
4. Grantor agrees that the consideration recited herein is just compensation for the property rights herein granted.
5. Grantor represents and warrants that Grantor has the authority to grant the easement and that the Easement Area is free from all liens and encumbrances that would materially affect the easement grant, and that they will defend this easement grant against all lawful claims and demands of all persons whomsoever with respect to any liens or encumbrances that would materially affect the easement grant.

[SIGNATURE PAGE FOLLOWS]

The parties above named have hereunto set their hands this 8 day of May, 2023.

GRANTOR:

GRANTEE:

Riverview Meadows Development LLC

Vern Scovell
Vern Scovell

Carey Sheldon
Carey Sheldon, President of
Sheldon Development Inc., Member

Vern Ray Scovell
Vern Ray Scovell, Trustee



STATE OF OREGON
County of TILLAMOOK

This instrument was acknowledged before me on May 5th, 2023, by Vern Scovell, the above-named Grantor, and Vern Ray Scovell, Trustee, his successor in trust, of The Vern Scovell Trust dated November 9, 2021 Grantor.

[Signature]
Notary Public for Oregon
My Commission expires: March 7, 2025

STATE OF OREGON
County of Clackamas

This instrument was acknowledged before me on May 8th, 2023, by Carey Sheldon, President of Sheldon Development Inc., Member of the above-named Grantee.

[Signature]
Notary Public for Oregon
My Commission expires: 06-17-2024

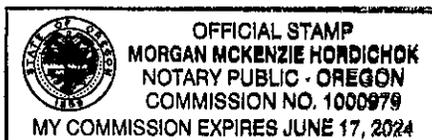


EXHIBIT A Legal Descriptions

PARCEL NO. 1:

Parcel 2 of PARTITION PLAT NO. 1994-058, recorded November 3, 1994 in Plat Cabinet B, Slide 420-2, Tillamook County Partition Plat Records, and being situated in Section 23, Township 3 North, Range 10 West of the Willamette Meridian, in Tillamook County, Oregon.

TOGETHER WITH access easement as disclosed by said Partition Plat.

PARCEL NO. 2:

A tract of land in Section 23, Township 3 North, Range 10 West of the Willamette Meridian, in Tillamook County, Oregon, described as follows:

Beginning at a point which is East 418.1 feet and South 247.9 feet from the West quarter corner of Section 23, Township 3 North, Range 10 West of the Willamette Meridian; and running thence North 54° 16' West 227.2 feet and North 34° 30' West to the intersection with the South line of the Southwest one-quarter of the Northwest one-quarter of said Section 23; and also running from said point of beginning, South 247.9 feet and East 418.1 feet from the West quarter corner of Section 23; thence South 20° 54' East 95.6 feet; thence South 11° 23' East 135 feet; thence South 49° 23' East to the Westerly right of way line of the county road; thence following the Westerly right of way line of the county road, Northerly to the South line of the Southwest one-quarter of the Northwest one-quarter of Section 23; and thence Westerly to connection with the terminus of the first line as described above.

EXCEPTING THEREFROM any portion of the above described tract lying within the county road.

PARCEL NO. 3:

All that portion of the following described tract lying South of the Nehalem Market County Road; described as follows:

Beginning at a point marked by a one-half inch iron pipe, located over the center of a 60 inch concrete culvert, 15 feet Southeasterly of the center of the Nehalem Market County Road, which beginning point is North 136.62 feet and East 1534.08 feet from the quarter corner on the West boundary of Section 23, Township 3 North, Range 10 West of the Willamette Meridian, County of Tillamook, State of Oregon; thence South 43° 32' East to the ordinary low water line on the Northerly bank of the Nehalem River; thence Easterly and Northerly upstream along said low water line to a point which is South 69° 47' East from a point marked by a 1 inch iron pipe on the Southerly line of said county road which is North 334.93 feet and East 2135.32 feet from said West quarter corner of Section 23; thence North 69° 47' West to said 1 inch iron pipe on the Southerly line of said county road; thence South 84° 55' West 106.18 feet to a 1 inch iron pipe located in the North line of said county road, which is the South corner of the Churchley tract as described in Deed Book 140, page 98, Tillamook County Deed Records; thence North 22° 43' West (which bearing is equivalent to the bearing North 22° 56' West as used in said Churchley Deed) a distance of 172.2 feet to the most Westerly corner of said Churchley tract, which corner is marked by the iron bar 1 inch x 2 feet originally placed for this corner; thence North 68° 47' West 260.70 feet; thence South 38° 43' 1/2' West 287.57 feet; thence South 60° 04' East 132.96 feet to a point in the North line of the county road; thence Southwesterly to the point of beginning.

EXCEPTING THEREFROM any portion lying within the county road.

PARCEL 4:

A parcel of property being in the Northwest one-quarter of Section 23, Township 3 North, Range 10 West, of the Willamette Meridian, Tillamook County, Oregon, and being all that portion of Parcel 17 as described in that certain deed recorded September 29, 1994 in Book 364, Page 117, Deed Records of Tillamook County, Oregon, lying Southerly and Westerly of the following described line:

Commencing at a point which is South 1004.76 feet and East 591.12 feet from the Section corner common to

Sections 14, 15, 22, and 23, Township 3 North, Range 10 West, Willamette Meridian, said point being also the Northeasterly corner of Parcel 1 of Partition Plat No. 1994-058; thence South 88° 34' 38" East 32.48 feet along the extension of the North line of said Parcel 1 to a point that is 30 feet distance as measured perpendicular to the Easterly line of Parcel 1, said point being the true point of beginning; thence South 21° 06' 52" East 104.77 feet parallel to the Easterly line of said Parcel 1; thence South 28° 37' 12" East 239.80 feet parallel to the Easterly line of said Parcel 1; thence South 36° 59' 08" East 177.93 feet parallel to the Easterly line of said Parcel 1 to a point that is 50 feet distant as measured perpendicular to the Easterly line of Parcel 1; thence South 16° 47' 00" East 313.22 feet parallel to the Easterly line of said Parcel 1; thence South 15° 49' 38" East 263.05 feet parallel to the Easterly line of Parcel 2 of Partition Plat No. 1994-58; thence North 18° 27' 39" East 39.96 feet to a 3/4" iron pipe shown as point #423 on Partition Plat No. 1994-58; thence North 80° 21' 26" East 238.43 feet along the boundary as shown on said Partition Plat to a 1/2" iron pipe; thence North 76° 17' 51" East 118.78 feet along the boundary as shown on said Partition Plat to a 1/2" iron pipe; thence South 71° 23' 00" East 146.59 feet along the boundary as shown on said Partition Plat to a 1/2" iron pipe; thence North 74° 20' 30" East 93.19 feet along the boundary as shown on said partition plat to a 1/2" iron pipe; thence North 74° 20' 30" East 16.29 feet along the boundary as shown on said Partition Plat to a 5/8" rebar with plastic cap stamped "HLB INC"; thence South 47° 16' 42" East 44.88 feet along the boundary as shown on said Partition Plat to a 1/2" iron pipe; thence South 47° 16' 42" East 51.52 feet along the boundary as shown on said Partition Plat to a 5/8" rebar with plastic cap stamped "HLB INC"; thence North 82° 53' 14" West 41.89 feet along the boundary as shown on said Partition Plat to a 5/8" rebar with plastic cap stamped "HLB INC"; thence South 07° 06' 46" West 110.49 feet along the boundary as shown on said Partition Plat to a 1/2" iron pipe; thence South 68° 41' 48" East 113.05 feet along the boundary as shown on said Partition Plat to a 5/8" rebar with plastic cap stamped "HLB INC"; thence North 21° 31' 10" East 87.78 feet along the boundary as shown on said Partition Plat to a 5/8" rebar with plastic cap stamped "HLB INC"; thence 25.24 feet along the arc of a curve to the left with a central angle of 12° 02' 58" and long chord which bears South 47° 44' 47" East 25.19 feet along the boundary as shown on said Partition Plat to a 5/8" rebar with plastic cap stamped "HLB INC"; thence South 21° 31' 10" West 152.01 feet along the boundary as shown on said Partition Plat to a 5/8" rebar with plastic cap stamped "HLB INC"; thence South 18° 27' 10" East 165.17 feet along the boundary as shown on said Partition Plat to a 5/8" rebar with plastic cap stamped "HLB INC" and the Northerly right-of-way line of North Fork County Road.

EXCEPTING THEREFROM Parcels 1 and 2 of Partition Plat No. 1994-58, Tillamook County, Oregon.

FURTHER EXCEPTING THEREFROM any portion lying within the boundaries of Riverview Meadows Phase I, recorded July 26, 2010 as Instrument No. 2010-004288, Tillamook County Records.

PARCEL NO. 5:

Lot 13, RIVERVIEW MEADOWS PHASE I, situated in the Northwest quarter of Section 23, Township 3 North, Range 10 West, Willamette Meridian, County of Tillamook, State of Oregon, recorded July 26, 2010 as Instrument No. 2010-004288, Tillamook County Records.

PARCEL NO. 6:

Tract C, RIVERVIEW MEADOWS PHASE I, situated in the Northwest quarter of Section 23, Township 3 North, Range 10 West, Willamette Meridian, County of Tillamook, State of Oregon, recorded July 26, 2010 as Instrument No. 2010-004288, Tillamook County Records.

PARCEL NO. 7:

Lot 1, Block 25, TOHL'S SECOND ADDITION TO NEHALEM, in the County of Tillamook, State of Oregon.

EXHIBIT B

Drainage Easement Description

An easement 25 feet wide (lying 12.50 feet on each side of the following described centerline) over a Portion of a Tract of land described as "Parcel No. 4" in Deed Document Number 2021-10165, Tillamook County Deeds Records, located in the Northwest one-quarter of Section 23, Township 3 North, Range 10 West of the Willamette Meridian, in Tillamook County, Oregon, the center line of which is described as follows:

Commencing at the most Westerly corner of Parcel 2, Partition Plat No. 1993-46, Tillamook County Plat Records, and P-156 Tillamook County Survey Records; thence along the Southwesterly line of that property described in Deed Document Number 2003-427188, Tillamook County Deeds Records, North 60°03'55" West, 36.13 feet to the True Point of Beginning; thence leaving said Southwesterly line, South 30°13'44" West, 153.37 feet to the terminus of center line.

The side lines of said 25 foot easement to be extended or shortened to meet at angle points and to terminate.

Containing 3,834 Square Feet, more or less.

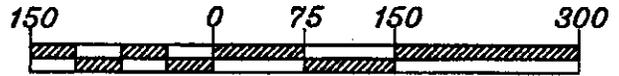
REGISTERED
PROFESSIONAL
LAND SURVEYOR

OREGON
DECEMBER 6, 2011
MACKENZIE C. WYNTERGREEN
84224

RENEWS: 06/30/2024

Mick C. Wyntergreen
L.S. 84224 - Oregon
Expires 06/30/24
Wyntergreen Survey Company, LLC
23895 Sandlake Rd.
Cloverdale, Oregon 97112

EXHIBIT B



SCALE: 1" = 150'

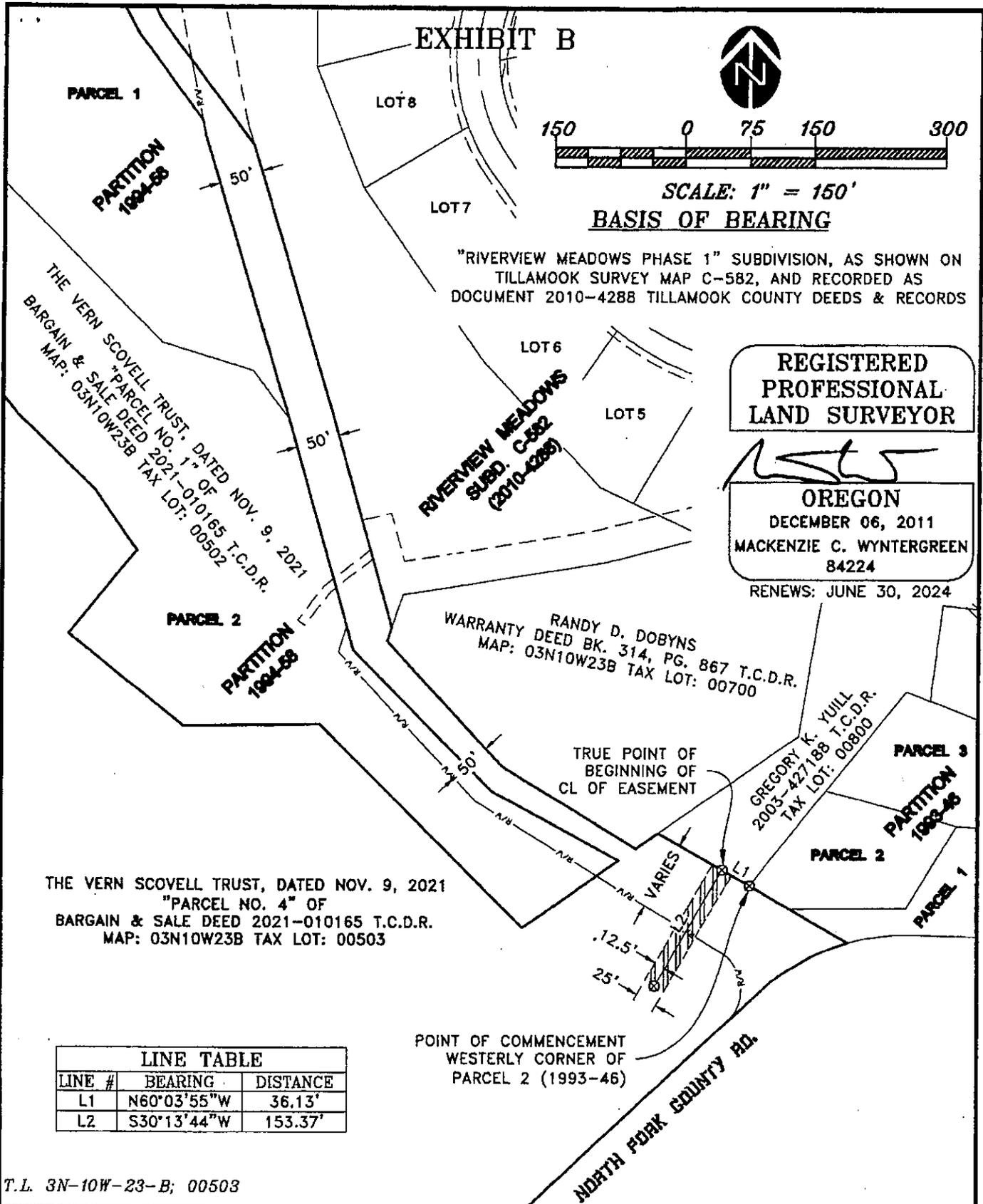
BASIS OF BEARING

"RIVERVIEW MEADOWS PHASE 1" SUBDIVISION, AS SHOWN ON TILLAMOOK SURVEY MAP C-582, AND RECORDED AS DOCUMENT 2010-4288 TILLAMOOK COUNTY DEEDS & RECORDS

**REGISTERED
PROFESSIONAL
LAND SURVEYOR**

OREGON
DECEMBER 06, 2011
MACKENZIE C. WYNTERGREEN
84224

RENEWS: JUNE 30, 2024



THE VERN SCOVELL TRUST, DATED NOV. 9, 2021
BARGAIN & SALE DEED NO. 1st OF
MAP: 03N10W23B TAX LOT: 00502

**RIVERVIEW MEADOWS
SUBD. C-582
(2010-4288)**

RANDY D. DOBYNS
WARRANTY DEED BK. 314, PG. 867 T.C.D.R.
MAP: 03N10W23B TAX LOT: 00700

GREGORY K. YUILL
2003-427188 T.C.D.R.
TAX LOT: 00800

THE VERN SCOVELL TRUST, DATED NOV. 9, 2021
"PARCEL NO. 4" OF
BARGAIN & SALE DEED 2021-010165 T.C.D.R.
MAP: 03N10W23B TAX LOT: 00503

LINE TABLE		
LINE #	BEARING	DISTANCE
L1	N60°03'55"W	36.13'
L2	S30°13'44"W	153.37'

T.L. 3N-10W-23-B; 00503

DRAWN: MCW	CHECKED: MCW	WYNTERGREEN SURVEY COMPANY, LLC	EXHIBIT: FOR VERN SCOVELL & RIVERVIEW MEADOWS, LLC N.W. 1/4 SEC. 23, T.3N., R.10W., W.M. P.O. BOX 151 NEHALEM, OR 97131	JOB NO.: 2023-008
DATE OF SURVEY: 5/4/23	DATE: 5/4/23	LAND SURVEYING, LOMA/LOWR-F, LAND CONSULTING 23895 SANDLAKE ROAD CLOVERDALE, OREGON 97112 TELEPHONE: (503) 670-5458 EMAIL: MCKE2422@COMCAST.COM		SHEET: 2 OF 2

DEED-ESMAT
\$40.00 \$11.00 \$61.00 \$10.00 - Total = \$122.00



AFTER RECORDING RETURN TO:

Riverview Meadows Development LLC
23765 SE Highway 212
Damascus, OR 97089

I hereby certify that the within
instrument was received for record and
recorded in the County of Tillamook,
State of Oregon.

Tassi O'Neil, Tillamook County Clerk

SEND TAX STATEMENT TO:

Riverview Meadows Development LLC
23765 SE Highway 212
Damascus, OR 97089

SPACE ABOVE RESERVED FOR RECORDING LABEL

CONSTRUCTION EASEMENT

Know by all persons present, that Vern Scovell, and Vern Ray Scovell, Trustee, his successor in trust, of The Vern Scovell Trust dated November 9, 2021 ("Grantor"), for consideration of the mutual promises exchanged herein and other good and valuable consideration exchanged with Riverview Meadows Development LLC, ("Grantee"), does hereby grant a non-exclusive easement for the construction, grading and maintenance of roads over, under and across the real property described herein, for the benefit of the real property as described herein, all being more particularly described herein.

EASEMENT RECITALS

A. Grantor has legal interest in, and may be the owner of, some of the real property ("Parcel 1") being legally described in the attached **Exhibit A**, which shall encompass the property described in the recitals herein.

B. Grantee is the owner of the real property ("Parcel 2") being legally described as follows:

Tract B, RIVERVIEW MEADOWS PHASE I, situated in the Northwest quarter of Section 23, Township 3 North, Range 10 West, Willamette Meridian, County of Tillamook, State of Oregon, recorded July 26, 2010 as Instrument No. 2010-004288, Tillamook County Records.

C. Parcel 1 and Parcel 2 are in close proximity to each other.

D. It is the intent of the parties herein named to create a non-exclusive, permanent right to enter, re-enter, and use Parcel 1, subject to conditions as set forth herein, for the benefit of Grantee's Parcel 2.

E. The non-exclusive easement, under, over and through the Easement Area, will be used for the purpose of constructing, grading and maintaining roads, and all other accommodations for the construction, grading and maintenance of roads. Grantee shall also have the specific rights of ingress and egress, consistent with the easement provided herein.

No Consideration

F. The parties agree that any unknown defect in the above Easement Area due to inaccuracy will not hinder the intent of the parties.

IT IS FURTHER UNDERSTOOD and AGREED:

1. The foregoing Easement Recitals paragraphs are contractual and not merely recitals, and are incorporated by this reference.
2. The rights and obligations of all the easements herein shall run with and be appurtenant to those parcels of land as described, and shall not be personal to any person, except that the obligation to pay for the costs and expenses (for costs and expenses incurred while a person was an owner) shall be personal to the owners of the described parcels, as well as run with the described parcels.
3. Grantee shall have a non-exclusive, and permanent right to enter, re-enter, and use a portion of Parcel 1 being legally described, and pictorially described, in the attached **Exhibit B**, subject to conditions as set forth herein, for the benefit of Grantee's Parcel 2. The easement shall include the right of the Grantor to construct, grade and maintain roads, and all other accommodations for the construction, grading and maintenance of roads within the Easement Area. Grantee shall also have the specific rights of ingress and egress, consistent with the easement provided herein. The costs of any improvements to the easement area shall be borne by Grantee, their successors and assigns. Any improvement to the easement area shall be in compliance with all applicable local, state, and federal law.
4. Grantor agrees that the consideration recited herein is just compensation for the property rights herein granted.
5. Grantor represents and warrants that Grantor has the authority to grant the easement and that the Easement Area is free from all liens and encumbrances that would materially affect the easement grant, and that they will defend this easement grant against all lawful claims and demands of all persons whomsoever with respect to any liens or encumbrances that would materially affect the easement grant.

[SIGNATURE PAGE FOLLOWS]

The parties above named have hereunto set their hands this 8 day of May, 2023.

GRANTOR:

GRANTEE:

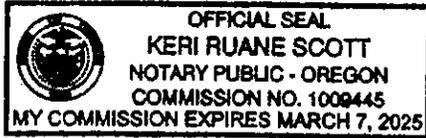
Riverview Meadows Development LLC

Vern Scovell
Vern Scovell

Carey Sheldon
Carey Sheldon, President of
Sheldon Development Inc., Member

Vern Ray Scovell
Vern Ray Scovell, Trustee

STATE OF OREGON
County of TILLAMOOK



This instrument was acknowledged before me on May 5th, 2023, by Vern Scovell, the above-named Grantor, and Vern Ray Scovell, Trustee, his successor in trust, of The Vern Scovell Trust dated November 9, 2021 Grantor.

Keri Ruane Scott
Notary Public for Oregon
My Commission expires: March 7, 2023

STATE OF OREGON
County of Clackamas

This instrument was acknowledged before me on May 8th, 2023, by Carey Sheldon, President of Sheldon Development Inc., Member of the above-named Grantee.

Morgan McKenzie Hordichok
Notary Public for Oregon
My Commission expires: 06-17-2024

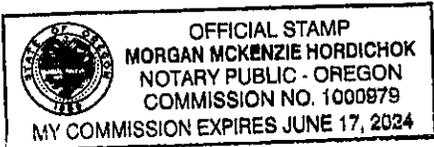


EXHIBIT A Legal Descriptions

PARCEL NO. 1:

Parcel 2 of PARTITION PLAT NO. 1994-058, recorded November 3, 1994 in Plat Cabinet B, Slide 420-2, Tillamook County Partition Plat Records, and being situated in Section 23, Township 3 North, Range 10 West of the Willamette Meridian, in Tillamook County, Oregon.

TOGETHER WITH access easement as disclosed by said Partition Plat.

PARCEL NO. 2:

A tract of land in Section 23, Township 3 North, Range 10 West of the Willamette Meridian, in Tillamook County, Oregon, described as follows:

Beginning at a point which is East 418.1 feet and South 247.9 feet from the West quarter corner of Section 23, Township 3 North, Range 10 West of the Willamette Meridian; and running thence North 54° 16' West 227.2 feet and North 34° 30' West to the intersection with the South line of the Southwest one-quarter of the Northwest one-quarter of said Section 23; and also running from said point of beginning, South 247.9 feet and East 418.1 feet from the West quarter corner of Section 23; thence South 20° 54' East 95.6 feet; thence South 11° 23' East 135 feet; thence South 49° 23' East to the Westerly right of way line of the county road; thence following the Westerly right of way line of the county road, Northerly to the South line of the Southwest one-quarter of the Northwest one-quarter of Section 23; and thence Westerly to connection with the terminus of the first line as described above.

EXCEPTING THEREFROM any portion of the above described tract lying within the county road.

PARCEL NO. 3:

All that portion of the following described tract lying South of the Nehalem Market County Road, described as follows:

Beginning at a point marked by a one-half inch iron pipe, located over the center of a 60 inch concrete culvert, 15 feet Southeastery of the center of the Nehalem Market County Road, which beginning point is North 136.62 feet and East 1534.08 feet from the quarter corner on the West boundary of Section 23, Township 3 North, Range 10 West of the Willamette Meridian, County of Tillamook, State of Oregon; thence South 43° 32' East to the ordinary low water line on the Northerly bank of the Nehalem River, thence Easterly and Northerly upstream along said low water line to a point which is South 69° 47' East from a point marked by a 1 inch iron pipe on the Southerly line of said county road which is North 334.93 feet and East 2135.32 feet from said West quarter corner of Section 23; thence North 69° 47' West to said 1 inch iron pipe on the Southerly line of said county road; thence South 84° 55' West 106.18 feet to a 1 inch iron pipe located in the North line of said county road, which is the South corner of the Churchley tract as described in Deed Book 140, page 98, Tillamook County Deed Records; thence North 22° 43' West (which bearing is equivalent to the bearing North 22° 56' West as used in said Churchley Deed) a distance of 172.2 feet to the most Westerly corner of said Churchley tract, which corner is marked by the iron bar 1 inch x 2 feet originally placed for this corner; thence North 68° 47' West 260.70 feet; thence South 38° 43' 1/2' West 287.57 feet; thence South 60° 04' East 132.96 feet to a point in the North line of the county road; thence Southwestery to the point of beginning.

EXCEPTING THEREFROM any portion lying within the county road.

PARCEL 4:

A parcel of property being in the Northwest one-quarter of Section 23, Township 3 North, Range 10 West, of the Willamette Meridian, Tillamook County, Oregon, and being all that portion of Parcel 17 as described in that certain deed recorded September 29, 1994 in Book 364, Page 117, Deed Records of Tillamook County, Oregon, lying Southerly and Westerly of the following described line:

Commencing at a point which is South 1004.76 feet and East 591.12 feet from the Section corner common to

Sections 14, 15, 22, and 23, Township 3 North, Range 10 West, Willamette Meridian, said point being also the Northeastly corner of Parcel 1 of Partition Plat No. 1994-058; thence South 88° 34' 38" East 32.48 feet along the extension of the North line of said Parcel 1 to a point that is 30 feet distance as measured perpendicular to the Easterly line of Parcel 1, said point being the true point of beginning; thence South 21° 06' 52" East 104.77 feet parallel to the Easterly line of said Parcel 1; thence South 28° 37' 12" East 239.60 feet parallel to the Easterly line of said Parcel 1; thence South 36° 59' 08" East 177.93 feet parallel to the Easterly line of said Parcel 1 to a point that is 50 feet distant as measured perpendicular to the Easterly line of Parcel 1; thence South 16° 47' 00" East 313.22 feet parallel to the Easterly line of said Parcel 1; thence South 15° 49' 38" East 263.05 feet parallel to the Easterly line of Parcel 2 of Partition Plat No. 1994-58; thence North 18° 27' 39" East 39.96 feet to a 3/4" iron pipe shown as point #423 on Partition Plat No. 1994-58; thence North 80° 21' 26" East 238.43 feet along the boundary as shown on said Partition Plat to a 1/2" iron pipe; thence North 76° 17' 51" East 116.78 feet along the boundary as shown on said Partition Plat to a 1/2" iron pipe; thence South 71° 23' 00" East 146.59 feet along the boundary as shown on said Partition Plat to a 1/2" iron pipe; thence North 74° 20' 30" East 93.19 feet along the boundary as shown on said partition plat to a 1/2" iron pipe; thence North 74° 20' 30" East 16.29 feet along the boundary as shown on said Partition Plat to a 5/8" rebar with plastic cap stamped "HLB INC"; thence South 47° 16' 42" East 44.88 feet along the boundary as shown on said Partition Plat to a 1/2" iron pipe; thence South 47° 16' 42" East 51.52 feet along the boundary as shown on said Partition Plat to a 5/8" rebar with plastic cap stamped "HLB INC"; thence North 82° 53' 14" West 41.89 feet along the boundary as shown on said Partition Plat to a 5/8" rebar with plastic cap stamped "HLB INC"; thence South 07° 06' 46" West 110.49 feet along the boundary as shown on said Partition Plat to a 1/2" iron pipe; thence South 68° 41' 48" East 113.05 feet along the boundary as shown on said Partition Plat to a 5/8" rebar with plastic cap stamped "HLB INC"; thence North 21° 31' 10" East 87.78 feet along the boundary as shown on said Partition Plat to a 5/8" rebar with plastic cap stamped "HLB INC"; thence 25.24 feet along the arc of a curve to the left with a central angle of 12° 02' 58" and long chord which bears South 47° 44' 47" East 25.19 feet along the boundary as shown on said Partition Plat to a 5/8" rebar with plastic cap stamped "HLB INC"; thence South 21° 31' 10" West 152.01 feet along the boundary as shown on said Partition Plat to a 5/8" rebar with plastic cap stamped "HLB INC"; thence South 16° 27' 10" East 165.17 feet along the boundary as shown on said Partition Plat to a 5/8" rebar with plastic cap stamped "HLB INC" and the Northerly right-of-way line of North Fork County Road.

EXCEPTING THEREFROM Parcels 1 and 2 of Partition Plat No. 1994-58, Tillamook County, Oregon.

FURTHER EXCEPTING THEREFROM any portion lying within the boundaries of Riverview Meadows Phase I, recorded July 26, 2010 as Instrument No. 2010-004288, Tillamook County Records.

PARCEL NO. 5:

Lot 13, RIVERVIEW MEADOWS PHASE I, situated in the Northwest quarter of Section 23, Township 3 North, Range 10 West, Willamette Meridian, County of Tillamook, State of Oregon, recorded July 26, 2010 as Instrument No. 2010-004288, Tillamook County Records.

PARCEL NO. 6:

Tract C, RIVERVIEW MEADOWS PHASE I, situated in the Northwest quarter of Section 23, Township 3 North, Range 10 West, Willamette Meridian, County of Tillamook, State of Oregon, recorded July 26, 2010 as Instrument No. 2010-004288, Tillamook County Records.

PARCEL NO. 7:

Lot 1, Block 25, TOHL'S SECOND ADDITION TO NEHALEM, in the County of Tillamook, State of Oregon.

EXHIBIT B

Construction Grading/Access Easement Description

An easement varying in width over a Portion of those Tracts of land described as "Parcel No. 1" and "Parcel No. 4" in Deed Document Number 2021-10165, Tillamook County Deed Records, located in the Northwest one-quarter of Section 23, Township 3 North, Range 10 West of the Willamette Meridian, in Tillamook County, Oregon, more particularly described as follows:

Commencing at the most Easterly Southeast corner of Parcel 2, Partition Plat No. 1994-58, Tillamook County Plat Records, and P-228 of Tillamook County Survey Records;

thence along the Southeast line of said Parcel, South 55°11'02" West, 30.32 feet to the True Point of Beginning.

thence leaving said Southeast line, North 58°40'06" West, 164.69 feet to an angle point;

thence North 42°59'33" West, 232.68 feet to an angle point;

thence North 17°20'37" East, 30.35 feet to the East line of said Parcel 2;

thence along said East line, North 15°49'59" West, 247.44 feet to the Southerly corner of Parcel 1 of said Partition Plat, and Point "AA" of this description;

thence along the South line of said Parcel 1, North 36°48'57" West, 58.32 feet to an angle point;

thence leaving said South line, South 16°45'30" East, 54.62 feet to an angle point;

thence South 15°49'59" East, 241.32 feet to an angle point;

thence South 17°20'37" West, 36.02 feet to an angle point;

thence South 42°59'33" East, 247.05 feet to an angle point;

thence South 58°40'06" East, 158.61 feet to a point on the Southeasterly line of Parcel 2 of said Partition Plat;

thence leaving said Southeasterly line and continuing, South 58°40'06" East, 176.01 feet to an angle point;

thence South 05°40'52" East, 72.96 feet to the Northwest Right-of-Way line of North Fork County Road;

thence along said Northwest Right-of-Way line, North 47°18'23" East, 15.08 feet to the beginning of a 50.00-foot radius non-tangent curve to the left;

then leaving said Northwest Right-of-Way line and along said non-tangent curve to the left, through a central angle of 105°58'29" (the long chord of which bears North 05°40'52" West, 79.85 feet) a length of 92.48 feet to a point of tangency;

thence North 58°40'06" West, 167.16 feet to the True Point of Beginning.

Containing 19,590 Square Feet, more or less.

Together with:

Commencing at the hereinabove described Point "AA at the Southerly corner of Parcel 1 of Partition Plat No. 1994-58, Tillamook County Plat Records, and P-228 of Tillamook County Survey Records;

thence along the East line of said Parcel 1, North 16°45'30" West, 338.59 feet to an angle point;

thence continuing along said East line, North 11°37'10" West, 18.86 feet to the Southerly Northeastern corner of said Parcel 1, and the True Point of Beginning;

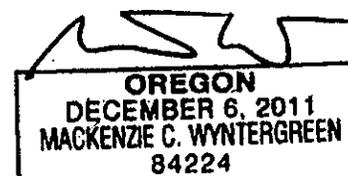
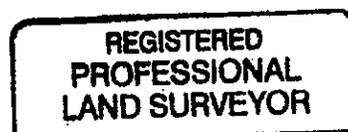
thence leaving said East line, North 11°37'10" West, 70.20 feet to the West line of "Riverview Meadows" subdivision recorded as 2010-4288 Tillamook County Deed Records, and C-582 of Tillamook County Survey Records;

thence along said West line, North 36°55'01" West, 46.80 feet to an angle point;

thence leaving said West line, South 11°37'10" East, 70.20 feet to the East line of Parcel 1 of said Partition Plat;

thence continuing along said East line, South 36°55'01" East, 46.80 feet to the True Point of Beginning.

Containing 1,404 Square Feet, more or less.



RENEWS: 06/30/2024

Mick C. Wyntergreen

L.S. 84224 - Oregon

Expires 06/30/24

Wyntergreen Survey Company, LLC

23895 Sandlake Rd.

Cloverdale, Oregon 97112

EXHIBIT B

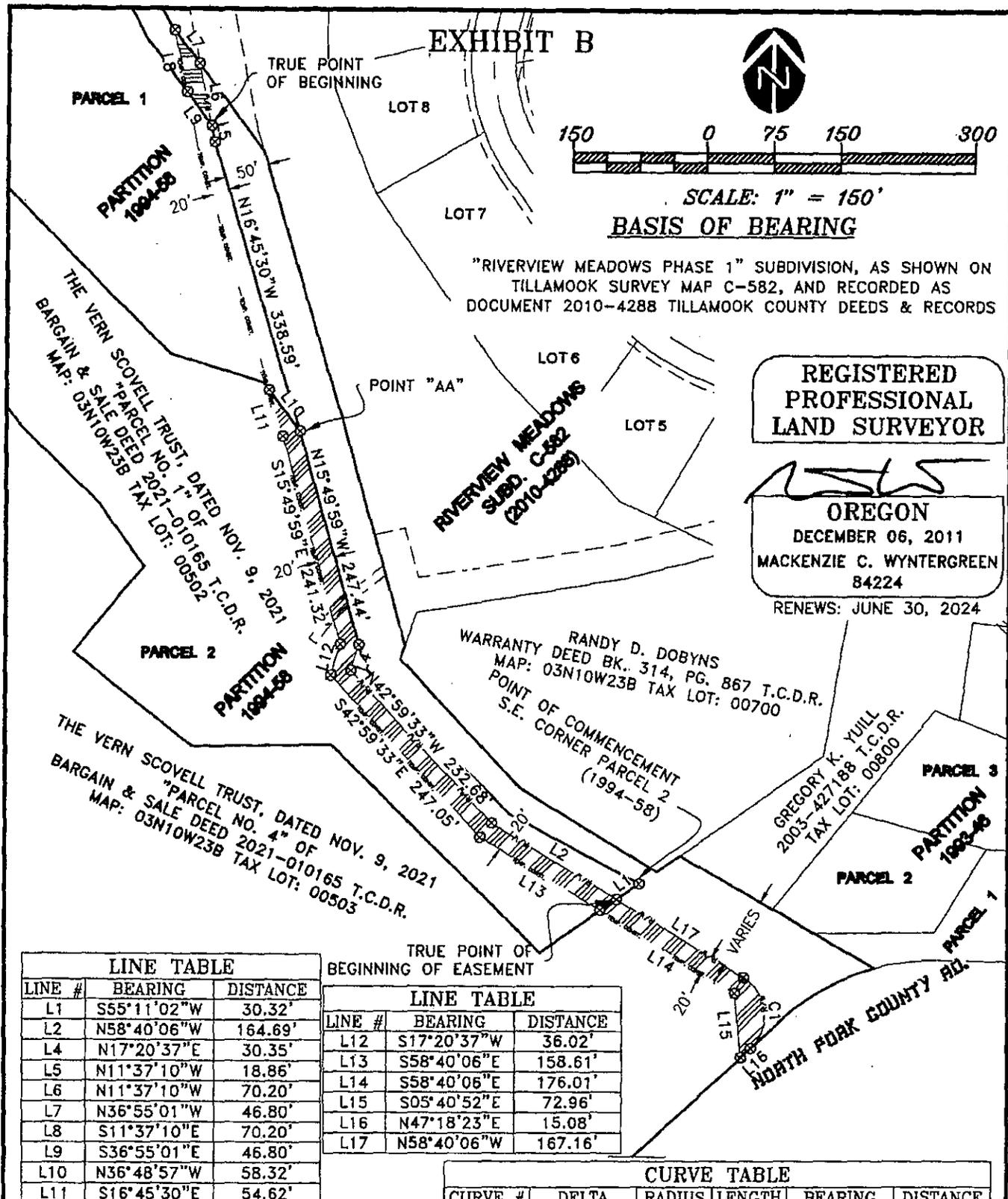


SCALE: 1" = 150'
BASIS OF BEARING

"RIVERVIEW MEADOWS PHASE 1" SUBDIVISION, AS SHOWN ON
TILLAMOOK SURVEY MAP C-582, AND RECORDED AS
DOCUMENT 2010-4288 TILLAMOOK COUNTY DEEDS & RECORDS

**REGISTERED
PROFESSIONAL
LAND SURVEYOR**

Mackenzie C. Wyntergreen
OREGON
DECEMBER 06, 2011
MACKENZIE C. WYNTERGREEN
84224
RENEWS: JUNE 30, 2024



LINE TABLE		
LINE #	BEARING	DISTANCE
L1	S55°11'02"W	30.32'
L2	N58°40'06"W	164.69'
L4	N17°20'37"E	30.35'
L5	N11°37'10"W	18.86'
L6	N11°37'10"W	70.20'
L7	N36°55'01"W	46.80'
L8	S11°37'10"E	70.20'
L9	S36°55'01"E	46.80'
L10	N36°48'57"W	58.32'
L11	S16°45'30"E	54.62'

LINE TABLE		
LINE #	BEARING	DISTANCE
L12	S17°20'37"W	36.02'
L13	S58°40'06"E	158.61'
L14	S58°40'06"E	176.01'
L15	S05°40'52"E	72.96'
L16	N47°18'23"E	15.08'
L17	N58°40'06"W	167.16'

CURVE TABLE					
CURVE #	DELTA	RADIUS	LENGTH	BEARING	DISTANCE
C1	105°58'29"	50.00'	92.48'	N05°40'52"W	79.85'

T.L. 3N-10W-23-B; 00503

DRAWN: MCW	CHECKED: MCW	WYNTERGREEN SURVEY COMPANY, LLC LAND SURVEYING, LOMA/LOWR-F, LAND CONSULTING 23895 SANDLAKE ROAD CLOVERDALE, OREGON 97112 TELEPHONE: (503) 670-5458 EMAIL: MCKEN@WYNTERGREEN.COM	EXHIBIT: FOR VERN SCOVELL & RIVERVIEW MEADOWS, LLC N.W. 1/4 SEC. 23, T.3N., R.10W., W.M. P.O. BOX 151 NEHALEM, OR 97131	JOB NO.: 2023-008
DATE OF SURVEY: 5/4/23	DATE: 5/5/23		SHEET: 3 OF 3	



00235247202300019090080087

AFTER RECORDING RETURN TO:

Riverview Meadows Development LLC
23765 SE Highway 212
Damascus, OR 97089

I hereby certify that the within instrument was received for record and recorded in the County of Tillamook, State of Oregon.

Tassi O'Neil, Tillamook County Clerk

SEND TAX STATEMENT TO:

Riverview Meadows Development LLC
23765 SE Highway 212
Damascus, OR 97089

SPACE ABOVE RESERVED FOR RECORDING LABEL

EASEMENT

Know by all persons present, that Vern Scovell, and Vern Ray Scovell, Trustee, his successor in trust, of The Vern Scovell Trust dated November 9, 2021 ("Grantor"), for consideration of the mutual promises exchanged herein and other good and valuable consideration exchanged with Riverview Meadows Development LLC, ("Grantee"), does hereby grant a non-exclusive easement for public access over, under and across the real property described herein, for the benefit of the real property as described herein, all being more particularly described herein.

EASEMENT RECITALS

A. Grantor has legal interest in, and may be the owner of, some of the real property ("Parcel 1") being legally described in the attached **Exhibit A**, which shall encompass the property described in the recitals herein.

B. Grantee is the owner of the real property ("Parcel 2") being legally described as follows:

Tract B, RIVERVIEW MEADOWS PHASE I, situated in the Northwest quarter of Section 23, Township 3 North, Range 10 West, Willamette Meridian, County of Tillamook, State of Oregon, recorded July 26, 2010 as Instrument No. 2010-004288, Tillamook County Records.

C. Parcel 1 and Parcel 2 are in close proximity to each other.

D. Grantor intends to grant to Grantee a non-exclusive, public access, and permanent right to enter, re-enter, and use Parcel 1, subject to conditions as set forth herein, for the benefit of Grantee's Parcel 2, and the general public.

E. The non-exclusive easement will be used for public and private ingress and egress purposes by the general public, by Grantee, and by Grantee's successors in ownership of Grantee's Parcel 2, particularly for emergency access use. The Easement Area is more particularly described in the attached **Exhibit B**.

No Consideration

F. The non-exclusive easement will be used for public and private ingress and egress purposes by the general public, by Grantee, and by Grantee's successors in ownership of Grantee's Parcel 2.

G. Additionally, the non-exclusive easement for public access and public and/or private utilities, shall also include the right to lay, construct, and maintain streets, water mains, sewer mains, storm drainage lines, and all related appurtenances, to be constructed and located on, across, under or over Parcel 1.

H. The parties agree that any unknown defect in the above Easement Area due to inaccuracy will not hinder the intent of the parties.

IT IS FURTHER UNDERSTOOD and AGREED:

1. The foregoing Easement Recitals paragraphs are contractual and not merely recitals, and are incorporated by this reference.
2. The rights and obligations of all the easements herein shall run with and be appurtenant to those parcels of land as described, and shall not be personal to any person, except that the obligation to pay for the costs and expenses (for costs and expenses incurred while a person was an owner) shall be personal to the owners of the described parcels, as well as run with the described parcels.
3. Grantee, and the general public shall have a non-exclusive, public access, and permanent right to enter, re-enter, and use Parcel 1 being legally described, and pictorially described, in the attached **Exhibit B** subject to conditions as set forth herein, for the benefit of Grantee's Parcel 2, and the general public. The easement shall include the right of the Grantor or Grantee to reasonably improve the surface of the easement area herein described; costs of any improvements to the easement area shall be borne by Grantee, their successors and assigns. Any improvement to the easement area shall be in compliance with all applicable local, state, and federal law.
4. Grantee shall have a non-exclusive easement for public access and public and/or private utilities, to include the right to lay, construct, and maintain streets, water mains, sewer mains, storm drainage lines, and all related appurtenances, to be constructed and located on, across, under or over Parcel 1.
5. Grantor agrees that the consideration recited herein is just compensation for the property rights herein granted.
6. Grantor represents and warrants that Grantor has the authority to grant the easement and that the easement area is free from all liens and encumbrances that would materially affect the easement grant, and that they will defend this easement grant against all lawful claims and demands of all persons whomsoever with

respect to any liens or encumbrances that would materially affect the easement grant.

The parties above named have hereunto set their hands this 8th day of May, 2023.

GRANTOR:

GRANTEE:

Riverview Meadows Development LLC

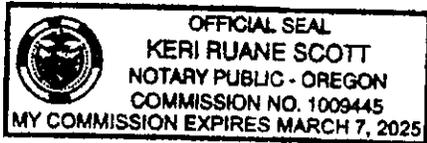
Vern Scovell
Vern Scovell

Carey Sheldon
Carey Sheldon, President of
Sheldon Development Inc., Member

Vern Ray Scovell
Vern Ray Scovell, Trustee

STATE OF OREGON
County of Tillamook

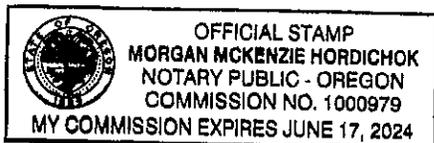
This instrument was acknowledged before me on May 8th, 2023,
by Vern Scovell, the above-named Grantor, and Vern Ray Scovell, Trustee, his successor in trust, of The
Vern Scovell Trust dated November 9, 2021 Grantor.



[Signature]
Notary Public for Oregon
My Commission expires: March 7, 2025

STATE OF OREGON
County of Clackamas

This instrument was acknowledged before me on 05-08-2023, 2023,
by Carey Sheldon, President of Sheldon Development Inc., Member of the above-named Grantee.



[Signature]
Notary Public for Oregon
My Commission expires: 06-17-2024

EXHIBIT A Legal Descriptions

PARCEL NO. 1:

Parcel 2 of PARTITION PLAT NO. 1994-058, recorded November 3, 1994 in Plat Cabinet B, Slide 420-2, Tillamook County Partition Plat Records, and being situated in Section 23, Township 3 North, Range 10 West of the Willamette Meridian, in Tillamook County, Oregon.

TOGETHER WITH access easement as disclosed by said Partition Plat.

PARCEL NO. 2:

A tract of land in Section 23, Township 3 North, Range 10 West of the Willamette Meridian, in Tillamook County, Oregon, described as follows:

Beginning at a point which is East 418.1 feet and South 247.9 feet from the West quarter corner of Section 23, Township 3 North, Range 10 West of the Willamette Meridian; and running thence North 54° 16' West 227.2 feet and North 34° 30' West to the intersection with the South line of the Southwest one-quarter of the Northwest one-quarter of said Section 23; and also running from said point of beginning, South 247.9 feet and East 418.1 feet from the West quarter corner of Section 23; thence South 20° 54' East 95.6 feet; thence South 11° 23' East 135 feet; thence South 49° 23' East to the Westerly right of way line of the county road; thence following the Westerly right of way line of the county road, Northerly to the South line of the Southwest one-quarter of the Northwest one-quarter of Section 23; and thence Westerly to connection with the terminus of the first line as described above.

EXCEPTING THEREFROM any portion of the above described tract lying within the county road.

PARCEL NO. 3:

All that portion of the following described tract lying South of the Nehalem Market County Road, described as follows:

Beginning at a point marked by a one-half inch iron pipe, located over the center of a 60 inch concrete culvert, 15 feet Southeasterly of the center of the Nehalem Market County Road, which beginning point is North 136.62 feet and East 1534.08 feet from the quarter corner on the West boundary of Section 23, Township 3 North, Range 10 West of the Willamette Meridian, County of Tillamook, State of Oregon; thence South 43° 32' East to the ordinary low water line on the Northerly bank of the Nehalem River; thence Easterly and Northerly upstream along said low water line to a point which is South 69° 47' East from a point marked by a 1 inch iron pipe on the Southerly line of said county road which is North 334.93 feet and East 2135.32 feet from said West quarter corner of Section 23; thence North 69° 47' West to said 1 inch iron pipe on the Southerly line of said county road; thence South 84° 55' West 106.18 feet to a 1 inch iron pipe located in the North line of said county road, which is the South corner of the Churchley tract as described in Deed Book 140, page 98, Tillamook County Deed Records; thence North 22° 43' West (which bearing is equivalent to the bearing North 22° 56' West as used in said Churchley Deed) a distance of 172.2 feet to the most Westerly corner of said Churchley tract, which corner is marked by the iron bar 1 inch x 2 feet originally placed for this corner; thence North 68° 47' West 260.70 feet; thence South 38° 43' 1/2' West 287.57 feet; thence South 60° 04' East 132.96 feet to a point in the North line of the county road; thence Southwesterly to the point of beginning.

EXCEPTING THEREFROM any portion lying within the county road.

PARCEL 4:

A parcel of property being in the Northwest one-quarter of Section 23, Township 3 North, Range 10 West, of the Willamette Meridian, Tillamook County, Oregon, and being all that portion of Parcel 17 as described in that certain deed recorded September 29, 1994 in Book 364, Page 117, Deed Records of Tillamook County, Oregon, lying Southerly and Westerly of the following described line:

Commencing at a point which is South 1004.76 feet and East 591.12 feet from the Section corner common to

Sections 14, 15, 22, and 23, Township 3 North, Range 10 West, Willamette Meridian, said point being also the Northeastly corner of Parcel 1 of Partition Plat No. 1994-058, thence South 88° 34' 38" East 32.48 feet along the extension of the North line of said Parcel 1 to a point that is 30 feet distance as measured perpendicular to the Easterly line of Parcel 1, said point being the true point of beginning; thence South 21° 06' 52" East 104.77 feet parallel to the Easterly line of said Parcel 1; thence South 28° 37' 12" East 239.60 feet parallel to the Easterly line of said Parcel 1; thence South 36° 59' 08" East 177.93 feet parallel to the Easterly line of said Parcel 1 to a point that is 50 feet distant as measured perpendicular to the Easterly line of Parcel 1; thence South 16° 47' 00" East 313.22 feet parallel to the Easterly line of said Parcel 1; thence South 15° 49' 38" East 263.05 feet parallel to the Easterly line of Parcel 2 of Partition Plat No. 1994-58; thence North 18° 27' 39" East 39.96 feet to a 3/4" iron pipe shown as point #423 on Partition Plat No. 1994-58; thence North 80° 21' 26" East 238.43 feet along the boundary as shown on said Partition Plat to a 1/2" iron pipe; thence North 78° 17' 51" East 116.78 feet along the boundary as shown on said Partition Plat to a 1/2" iron pipe; thence South 71° 23' 00" East 146.59 feet along the boundary as shown on said Partition Plat to a 1/2" iron pipe; thence North 74° 20' 30" East 93.19 feet along the boundary as shown on said partition plat to a 1/2" iron pipe; thence North 74° 20' 30" East 16.29 feet along the boundary as shown on said Partition Plat to a 5/8" rebar with plastic cap stamped "HLB INC"; thence South 47° 16' 42" East 44.88 feet along the boundary as shown on said Partition Plat to a 1/2" iron pipe; thence South 47° 16' 42" East 51.52 feet along the boundary as shown on said Partition Plat to a 5/8" rebar with plastic cap stamped "HLB INC"; thence North 82° 53' 14" West 41.89 feet along the boundary as shown on said Partition Plat to a 5/8" rebar with plastic cap stamped "HLB INC"; thence South 07° 06' 46" West 110.49 feet along the boundary as shown on said Partition Plat to a 1/2" iron pipe; thence South 68° 41' 48" East 113.05 feet along the boundary as shown on said Partition Plat to a 5/8" rebar with plastic cap stamped "HLB INC"; thence North 21° 31' 10" East 87.78 feet along the boundary as shown on said Partition Plat to a 5/8" rebar with plastic cap stamped "HLB INC"; thence 25.24 feet along the arc of a curve to the left with a central angle of 12° 02' 56" and long chord which bears South 47° 44' 47" East 25.19 feet along the boundary as shown on said Partition Plat to a 5/8" rebar with plastic cap stamped "HLB INC"; thence South 21° 31' 10" West 152.01 feet along the boundary as shown on said Partition Plat to a 5/8" rebar with plastic cap stamped "HLB INC"; thence South 18° 27' 10" East 165.17 feet along the boundary as shown on said Partition Plat to a 5/8" rebar with plastic cap stamped "HLB INC" and the Northerly right-of-way line of North Fork County Road.

EXCEPTING THEREFROM Parcels 1 and 2 of Partition Plat No. 1994-58, Tillamook County, Oregon.

FURTHER EXCEPTING THEREFROM any portion lying within the boundaries of Riverview Meadows Phase I, recorded July 26, 2010 as Instrument No. 2010-004288, Tillamook County Records.

PARCEL NO. 5:

Lot 13, RIVERVIEW MEADOWS PHASE I, situated in the Northwest quarter of Section 23, Township 3 North, Range 10 West, Willamette Meridian, County of Tillamook, State of Oregon, recorded July 26, 2010 as Instrument No. 2010-004288, Tillamook County Records.

PARCEL NO. 6:

Tract C, RIVERVIEW MEADOWS PHASE I, situated in the Northwest quarter of Section 23, Township 3 North, Range 10 West, Willamette Meridian, County of Tillamook, State of Oregon, recorded July 26, 2010 as Instrument No. 2010-004288, Tillamook County Records.

PARCEL NO. 7:

Lot 1, Block 25, TOHL'S SECOND ADDITION TO NEHALEM, in the County of Tillamook, State of Oregon.

EXHIBIT B

Access Easement Description

An easement varying in width over a Portion of those Tracts of land described as "Parcel No. 1" and "Parcel No. 4" in Deed Document Number 2021-10165, Tillamook County Deeds Records, located in the Northwest one-quarter of Section 23, Township 3 North, Range 10 West of the Willamette Meridian, in Tillamook County, Oregon, more particularly described as follows:

Commencing at the most Easterly Southeast corner of Parcel 2, Partition Plat No. 1994-58, Tillamook County Plat Records, and P-228 Tillamook County Survey Records;

thence along the Southeast line of said Parcel, South 55°11'02" West, 30.32 feet to the True Point of Beginning.

thence leaving said Southeast line, North 58°40'06" West, 164.69 feet to an angle point;

thence North 42°59'33" West, 232.68 feet to an angle point;

thence North 17°20'37" East, 30.35 feet to the East line of said Parcel 2;

thence along said East line, North 15°49'59" West, 247.44 feet to the Southerly corner of Parcel 1 of said Partition Plat;

thence along the East line of said Parcel 1, North 16°45'30" West, 338.59 feet to an angle point;

thence continuing along a portion of said East line, North 11°37'10" West, 89.06 feet to the West line of "Riverview Meadows" subdivision recorded as 2010-4288 Tillamook County Deeds Records, and C-582 Tillamook County Survey Records;

thence along said West line, South 36°55'01" East, 121.94 feet to an angle point;

thence continuing along said West line, South 16°45'30" East, 313.23 feet to an angle point;

thence continuing along said West line, South 15°49'59" East, 262.73 feet to the Northerly corner of the "Road Tract" as described in Deed Document Book 314, Page 867, Tillamook County Deeds Records;

thence along the West line of said "Road Tract", South 17°20'37" West, 16.19 feet to an angle point;

thence continuing along said West line, South 42°59'33" East, 196.73 feet to an angle point;

thence continuing along said West line, South 58°40'06" East, 179.91 feet to the Southeast line of said "Road Tract";

thence along said Southeast line, North 55°08'51" East, 31.55 feet to the most Westerly corner of that property described in Deed Document Number 2003-427188, Tillamook County Deeds Records;

thence along the Southwesterly line of said Property, South 60°03'55" East, 120.81 feet to the most Westerly corner of Partition Plat No. 1993-46, Tillamook County Plat Records, and P-156 Tillamook County Survey Records;

thence along the Southwesterly line of said Partition, South 59°58'05" East, 130.92 feet to the Northwest Right-of-Way line of North Fork County Road, and the beginning of a 250.37-foot radius non-tangent curve to the left;

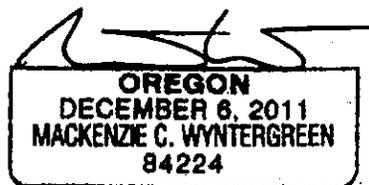
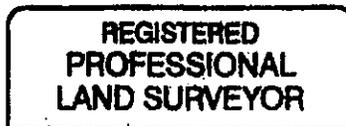
then along said Northwest Right-of-Way line and non-tangent curve to the left, through a central angle of 27°10'22" (the long chord of which bears South 60°53'34" West, 117.63 feet) a length of 118.74 feet to a point of tangency;

thence continuing along said Northwest Right-of-Way line, South 47°18'23" West, 48.08 feet to the beginning of a 50.00-foot radius non-tangent curve to the left;

then leaving said Northwest Right-of-Way line and along said non-tangent curve to the left, through a central angle of 105°58'29" (the long chord of which bears North 05°40'52" West, 79.85 feet) a length of 92.48 feet to a point of tangency;

thence North 58°40'06" West, 167.16 feet to the True Point of Beginning;

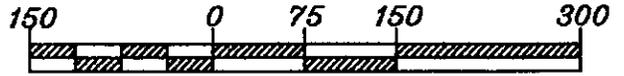
Containing 72,320 Square Feet, more or less.



RENEWALS: 06/30/2024

Mick C. Wyntergreen
L.S. 84224 - Oregon
Expires 06/30/24
Wyntergreen Survey Company, LLC
23895 Sandlake Rd.
Cloverdale, Oregon 97112

EXHIBIT B



SCALE: 1" = 150'

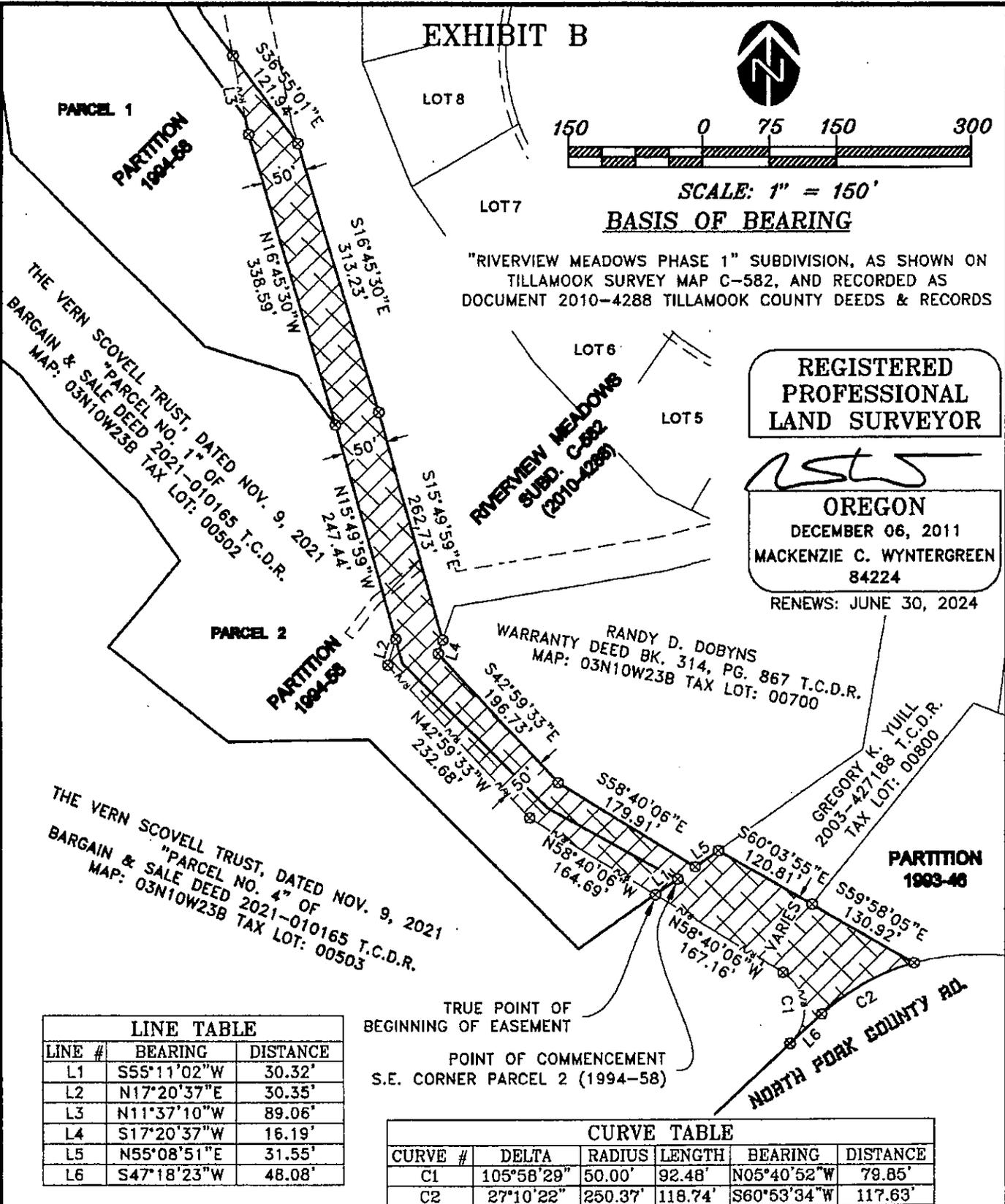
BASIS OF BEARING

"RIVERVIEW MEADOWS PHASE 1" SUBDIVISION, AS SHOWN ON TILLAMOOK SURVEY MAP C-582, AND RECORDED AS DOCUMENT 2010-4288 TILLAMOOK COUNTY DEEDS & RECORDS

**REGISTERED
PROFESSIONAL
LAND SURVEYOR**

MS
OREGON
DECEMBER 06, 2011
MACKENZIE C. WYNTERGREEN
84224

RENEWS: JUNE 30, 2024



LINE TABLE		
LINE #	BEARING	DISTANCE
L1	S55°11'02"W	30.32'
L2	N17°20'37"E	30.35'
L3	N11°37'10"W	89.06'
L4	S17°20'37"W	16.19'
L5	N55°08'51"E	31.55'
L6	S47°18'23"W	48.08'

TRUE POINT OF BEGINNING OF EASEMENT
POINT OF COMMENCEMENT
S.E. CORNER PARCEL 2 (1994-58)

CURVE TABLE					
CURVE #	DELTA	RADIUS	LENGTH	BEARING	DISTANCE
C1	105°58'29"	50.00'	92.48'	N05°40'52"W	79.85'
C2	27°10'22"	250.37'	118.74'	S60°53'34"W	117.63'

T.L. 3N-10W-23-B; 00503

DRAWN: MCW	CHECKED: MCW	WYNTERGREEN SURVEY COMPANY, LLC	EXHIBIT: FOR VERN SCOVELL & RIVERVIEW MEADOWS, LLC N.W. 1/4 SEC. 23, T.3N., R.10W., W.M. P.O. BOX 151 NEHALEM, OR 97131	JOB NO.: 2023-008
DATE OF SURVEY: 5/4/23	DATE: 5/4/23	LAND SURVEYING, LOMA/LOMR-P, LAND CONSULTING 23895 SANDLAKE ROAD CLOVERDALE, OREGON 97112 TELEPHONE: (541) 676-5458 EMAIL: MCKCB@240CMAIL.COM		SHEET: 3 OF 3

After Recording Please Return To:
Riverview Meadows Development, LLC.
23765 SE Highway 212
Damascus, OR 97089

SPACE ABOVE RESERVED FOR RECORDING LABEL

DECLARATIONS OF CONDITIONS AND RESTRICTIONS AFFECTING LAND LOCATED IN TILLAMOOK COUNTY, OREGON

The undersigned (hereafter "Declarants") being the owners in fee simple of that real property located in Tillamook County, Oregon, described in the attached Exhibit A, Phase 2 and Phase 3 "Tract B" of Phase 1 (hereafter referred to as "Riverview Meadows Development, LLC. Phase 2 and Phase 3") incorporated herein by reference, do hereby make the following declaration of conditions, covenants, and restrictions (hereafter "CCR's") covering the above described property, specifying that this declaration shall constitute covenants to run with all of the land and shall be binding on all persons claiming under and through them and these conditions and restrictions shall be for the benefit of and limitations upon all future owners of said real property;

Where used herein, the term "Declarants" unless specified otherwise, shall mean the undersigned, their successors, heirs and assigns. Where used herein the term "lot" shall mean one of the lots 21 through 94 of Riverview Meadows Development, LLC. Phase 2 and Phase 3. Where used herein the term "owner" shall mean the owner of a lot within Riverview Meadows Development, LLC. Phase 2 and Phase 3 whether that owner be one or more persons, trust(s), corporation(s), limited liability company(ies), similar entity, or group or combination of entities.

1. USE OF LOT. No lot shall be used except for single-family residential purposes, or except for the placement of an accessory storage structure to benefit an adjoining lot in common ownership.

2. HEIGHT RESTRICTIONS. Notwithstanding paragraph 17 below, Declarants expressly reserve solely to themselves the right to impose building height restrictions on any lot within Riverview Meadows Development, LLC. Phase 2 and Phase 3, and or such further property annexed pursuant to paragraph 14 below, for so long as Declarants, or either of them, are an owner of a lot therein. For purposes of the foregoing sentence, Declarants shall not include their heirs, successors, or assigns. Such restrictions shall be imposed by recorded declaration in the Tillamook County Clerk's office in deed records and shall specifically reference these CCR's and the Declarants' right reserved by this paragraph. For purposes of these CCR's, " height" shall mean the vertical distance of a building measured from grade to the highest point of the roof; and "grade" shall mean the average elevation of the existing ground at the centers of all walls of a building.

3. **SQUARE FOOTAGE.** The minimum square footage of any residence on any lot shall be no less than 1200 square feet for a single level residence and no less than 1600 square feet for a multi-level residence. These square footage restrictions shall not apply to accessory structures, nor shall the square footage of any accessory structure be counted in determining the square footage of a residence.

4. **TYPES OF STRUCTURES.** Mobile homes, trailers, metal sheds, and pole buildings shall not be placed nor constructed on any lot. Pre-built modular and manufactured homes, as those terms are commonly used, shall be permitted. No structure erected on a lot shall possess aluminum or other metal siding. Roofing may be of wood, tile, metal, or composite material.

5. **TIME FOR COMPLETION OF CONSTRUCTION.** The construction of any residential structure shall, insofar as the exterior thereof is concerned, be completed within one (1) year from the date construction commences. All landscaping shall be completed within six months of substantial completion of any residential structure erected upon a lot.

6. **TEMPORARY STRUCTURES.** No temporary structure, excepting a recreational vehicle, shall be erected or placed upon the premises, except that a temporary structure shall be permitted on a lot during the period of construction of a single family dwelling, but such temporary structure shall be removed within thirty (30) days of completion of said dwelling house or within eighteen (18) months after the date said temporary structure was erected, whichever period expires first.

7. **ANIMALS.** No animals, livestock or poultry of any kind shall be raised, bred or kept on any lot excepting any dog, cat or household pets may be kept provided that they are not kept, bred or maintained for commercial purposes.

8. **BUSINESS ACTIVITY.** No business, trade or manufacture of any sort shall be conducted upon any of the above described property save and except for a home businesses wherein no signs, structures or other indicia of the business are apparent from outside any dwelling and such business does not result in any traffic to and from the property in excess of ordinary residential traffic. However, this paragraph shall not prohibit an owner from renting a dwelling to a third party, but under no circumstances shall such rental be for a rental term of less than 30 days. No signs shall be erected or maintained on any lot, save and except that one "for sale" or "for rent" sign not more than 24 inches high and 36 inches wide may be placed on a property on a temporary basis. The foregoing sign restrictions shall not apply to Declarants advertising lots for sale.

9. **UPKEEP OF LOT.** Each lot shall be maintained in a good and clean condition and free of hazards to the adjacent property and to the occupants thereof. All weeds and brush including but not limited to tansy, ragwort and blackberries shall be cut, poisoned or otherwise controlled and kept down. All garbage and other waste and

debris shall be kept in appropriate sanitary containers for proper disposal and out of public view. Yard raking and dirt resulting from landscaping work shall not be dumped onto streets, roads, or other owner's lots. No noxious or offensive activity shall be carried on upon any lot, nor shall anything be done, grown or placed upon any lot which interferes with or jeopardizes the enjoyment of other lot owners within the property affected by these CCR's.

10. FENCES. No fence or wall shall be erected or placed on any lot in the above described subdivision exceeding four (4) feet in height. However, chain-link fences or similar fencing which does not completely obscure a view may be a maximum of six (6) feet in height.

11. UTILITIES. No outdoor overhead wire or service drop for the distribution of electric energy or for telecommunication purposes, nor any pole, tower or other structure supporting said overhead wire shall be erected within the property affected by these CCR's. All owners shall use underground wires to connect their residences and any accessory structures built upon any lots to power, television, and any other utilities.

12. VEHICLES. No owner shall permit any vehicle which is in a state of visible disrepair to be abandoned or to remain parked upon any lot or parcel or on any street for a period in excess of forty-eight (48) hours. All boats, trailers, motor homes, motorcycles, trucks, truck campers and like equipment shall be kept in an enclosed garage when not in actual use. Each lot shall contain parking area for at least three vehicles. Garage or accessory structure bays shall be counted for the purposes of meeting this requirement.

13. MAINTENANCE AND IMPROVEMENT OF ACCESS ROAD. Access to the lots affected by these CCR's is served by private paved roads owned by Declarants over which owners have rights of ingress and egress. As a part of these conditions, covenants and restrictions, and notwithstanding the location of individual lots nor the use made by the respective owners of any lots, owners of property affected by these CCR's shall in the cost of routine maintenance and repair of said roadway and paving. Further, upon the unanimous decision of 75% of the owners of lots within the property affected by these CCR's improvements may be made to said roads, and each owner will likewise share an equal responsibility and liability for the costs of such improvement. Each owner's percentage share of the cost of maintenance, repair, and improvement, if applicable, shall be equal to the ratio which the number of lots owned by an owner bears to the total number of lots affected by these CCR's.

14. DRIVEWAYS. All driveways serving a residence on any property subject to this declaration shall be paved with asphalt, concrete, or stone no later than the date of completion of the construction of a residence on a lot, and the owner thereof shall keep any such driveway in good and workmanlike repair. Said driveway shall at a minimum reach from the property line of a lot to the paved edge of the road providing access to a lot and shall be a minimum of thirty (30) feet in width where it connects to

the pavement on the access road, and a minimum of twenty- two (22) feet elsewhere. All driveways shall incorporate a minimum eighteen (18) inch culvert for drainage

15. ANNEXATION. If, within 20 years of the recording of these CCR's, Declarants, their successors and assigns, shall develop additional land within the vicinity of the real property affected by these CCR's, such additional land may be annexed by Declarant, its successors and

assigns, to the real property by filing a plat of the property(ies) to be annexed and adopting all declarations of the protective restrictions affecting Riverview Meadows Development, LLC. Phase 2 and Phase 3 in effect at the time and thereby making the same applicable to the annexed properties. There is no limitation on the number of additional lots, Phases, tracts, private tracts or common properties which may be created or annexed to the real property under this paragraph by Declarant, its successors or assigns.

16. SEVERABILITY. Invalidation of any of these covenants shall in no way affect any of the other provisions, which shall remain in full force and effect.

17. DURATION/AMENDMENT/REVOICATION. All of the conditions, covenants, restrictions and reservations set forth in this declaration are imposed upon the property covered hereby for the direct benefit thereof and of the owners thereof. Such conditions and restrictions shall run with the land and shall be binding upon any person who shall acquire any interest in the property covered hereby. Said conditions, covenants, restrictions and reservations shall remain in effect for a period of thirty (30) years from the date of this declaration. These conditions, covenants and restrictions may be amended or revoked by written document signed by the owners of seventy-five percent (75%) of the lots within the subdivision, but in no event may they be amended or revoked without the written consent of Declarants so long as Declarants, or either one of them, own a lot or lots affected by these CCR's. For purposes of the foregoing sentence, Declarants shall not include their heirs, successors, or assigns.

18. BREACH AS NUISANCE. The result of every act of omission or commission or the violation hereof, whether such condition, covenant, restriction or reservation is violated in whole or in part, is hereby declared to be and to constitute a nuisance, which may be prohibited and enjoined by an injunction. Such remedy shall be deemed cumulative and not exclusive of any and every other remedy allowed by law or equity against such a nuisance, whether public or private.

19. INUREMENT OF BENEFIT. The provisions contained in this declaration shall inure to the benefit of and be enforceable by any owner or the owners of any portion of the property covered hereby, and each of their legal representatives, heirs, successors and assigns. Failure by any property owner or their legal representatives, heirs, successors or assigns to enforce any of said conditions, covenants or restrictions herein contained shall in no event be deemed a waiver or failure of the right to do so thereafter.

20. ENFORCEMENT. Should suit or action be instituted to enforce any of the foregoing restrictions or covenants after written demand for the discontinuance of a violation thereof and failure to comply, then, whether said suit be reduced to judgment or decree or not, the owners seeking to enforce or to restrain any such violation shall be entitled to have and recover from such defendants in addition to the costs and disbursements allowed by law, such sum as the court may adjudge reasonable as attorney fees in such suit or action. In the event of any appeal, such parties shall be entitled to recover from the defendants on such appeal, such further sum as the court shall adjudge reasonable attorney fees.

21. EFFECT OF BREACH. The breach of any of the foregoing shall not defeat or render invalid, the lien of any mortgage or deed of trust made in good faith for value as to any of the said lots, provided, however, that the breach of any of the said conditions or restrictions may be enjoined, abated or redressed by appropriate proceedings against any owner of the premises to which such violation applies, whether such ownership is acquired by purchase, foreclosure, devise, inheritance or in any other manner.

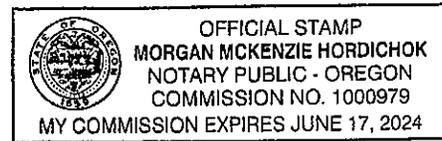
IN WITNESS WHEREOF, Declarants have executed this instrument this 8th day of May, 2023.

RIVERVIEW MEADOWS DEVELOPMENT, LLC.
An Oregon Limited Liability Company.


By: Carey Sheldon, President of
Sheldon Development Inc., Member
DECLARANT

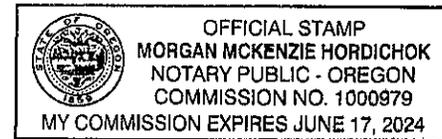

By: Carey Sheldon, Managing Member
Riverview Meadows Development, LLC.,
DECLARANT

STATE OF OREGON)
County of Clackamas)



May 8th, 2023 Personally appeared the above named
Carey Sheldon, individually, and acknowledged the foregoing instrument to be his
voluntary act and deed

STATE OF OREGON)
County of Clackamas)



May 8th, 2023 Personally appeared the above named
Carey Sheldon, individually, and acknowledged the foregoing instrument to be his
voluntary act and deed

EXHIBIT A

Riverview Meadows Phase 1 subdivision located in Tillamook County, Oregon, described as follows:

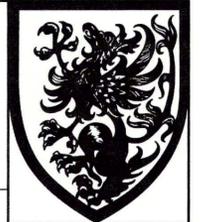
COMMENCING AT A FOUND THREE INCH BRASS DISC COMMON TO SECTIONS 14, 15, 22 AND 23, TOWNSHIP 3 NORTH, RANGE 10 WEST OF THE WILLAMETTE MERIDIAN; THENCE, SOUTH 01°03'16" EAST ALONG THE WEST LINE OF SAID NORTHWEST ONE-QUARTER OF SECTION 23 ALSO THE WEST LINE OF THAT TRACT OF LAND FOUND IN BOOK 203, PAGE 253, TILLAMOOK COUNTY DEED RECORDS, A DISTANCE OF 990.70 FEET TO A FOUND 5/8 INCH IRON ROD AT THE SOUTHWEST CORNER OF SAID TRACT OF LAND FOUND IN BOOK 203, PAGE 253; THENCE, SOUTH 88°34'29" EAST ALONG THE SOUTH LINE OF SAID TRACT OF LAND FOUND IN BOOK 203, PAGE 253, A DISTANCE OF 605.46 FEET TO A FOUND 5/8 INCH IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "PLS 2351", SAID POINT BEING THE INITIAL POINT AND THE POINT OF BEGINNING; THENCE, SOUTH 21°14'48" EAST, A DISTANCE OF 104.78 FEET TO A FOUND 5/8 INCH IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "PLS 2351"; THENCE SOUTH 28°36'50" EAST, A DISTANCE OF 239.81 FEET TO A FOUND 5/8 INCH IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "PLS 2351"; THENCE SOUTH 36°55'01" EAST, A DISTANCE OF 177.89 FEET TO A FOUND 5/8 INCH IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "PLS 2351"; THENCE, SOUTH 16°45'30" EAST, A DISTANCE OF 313.23 FEET TO A FOUND 5/8 INCH IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "PLS 2351"; THENCE, SOUTH 15°49'59" EAST, A DISTANCE OF 262.73 FEET TO A FOUND 5/8 INCH IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "PLS 2351" AT THE MOST WESTERLY CORNER OF THAT TRACT OF LAND FOUND IN BOOK 614, PAGE 807, TILLAMOOK COUNTY DEED RECORDS; THENCE, NORTH 19°12'43" EAST ALONG THE NORTH LINE OF SAID BOOK 614, PAGE 807, A DISTANCE OF 39.77 FEET TO A FOUND 3/4 INCH IRON PIPE; THENCE, NORTH 80°34'04" EAST ALONG SAID NORTH LINE, A DISTANCE OF 238.43 FEET TO A FOUND 5/8 INCH IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "PLS 2351"; THENCE, NORTH 75°38'04" EAST ALONG SAID NORTH LINE A DISTANCE OF 116.76 FEET TO A FOUND 1/2 INCH IRON PIPE; THENCE, SOUTH 71°12'17" EAST ALONG SAID NORTH LINE, A DISTANCE OF 146.57 FEET TO A FOUND 1/2 INCH IRON PIPE AT THE NORTHEAST CORNER OF SAID BOOK 614, PAGE 807, ALSO THE NORTHWEST CORNER OF A TRACT OF LAND FOUND IN BOOK 356, PAGE 435, TILLAMOOK COUNTY DEED RECORDS; THENCE, NORTH 74°16'15" EAST ALONG THE NORTH LINE OF SAID BOOK 356, PAGE 435, A DISTANCE OF 93.46 FEET TO A FOUND 1/2 INCH IRON PIPE; THENCE, NORTH 74°25'07" EAST ALONG SAID NORTH LINE, A DISTANCE OF 15.95 FEET TO A FOUND 5/8 INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "HLB INC"; THENCE, SOUTH 47°28'10" EAST ALONG SAID NORTH LINE, A DISTANCE OF 44.90 FEET TO A FOUND 1/2 INCH IRON PIPE; THENCE, SOUTH 47°28'10" EAST ALONG SAID NORTH LINE, A DISTANCE OF 51.70 FEET TO A FOUND

5/8 INCH IRON ROD WITH AN ILLEGIBLE YELLOW PLASTIC CAP; THENCE, NORTH 83°25'29" WEST ALONG SAID NORTH LINE, A DISTANCE OF 41.96 FEET TO A FOUND 5/8 INCH IRON ROD; THENCE, SOUTH 07°04'58" WEST ALONG SAID NORTH LINE, A DISTANCE OF 110.20 FEET TO A FOUND 5/8 INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "PLS 2351" ON THE NORTH LINE OF PARCEL 3, PARTITION PLAT 1993-46, TILLAMOOK COUNTY PLAT RECORDS; THENCE, SOUTH 68°36'58" EAST ALONG SAID NORTH LINE, A DISTANCE OF 112.89 FEET TO A FOUND 5/8 INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "HLB INC"; THENCE, NORTH 21°36'13" EAST ALONG SAID NORTH LINE, A DISTANCE OF 88.16 FEET TO A NON-TANGENT 120.00 FOOT RADIUS CURVE TO THE LEFT; THENCE, 25.27 FEET ALONG SAID NON-TANGENT CURVE, THROUGH AN INTERNAL ANGLE OF 12°03'52", THE CHORD OF WHICH BEARS SOUTH 75°24'03" EAST 25.22 FEET; THENCE, SOUTH 21°37'18" WEST ALONG THE EAST LINE OF SAID PARTITION PLAT, A DISTANCE OF 152.44 FEET TO A FOUND 5/8 INCH IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "HLB INC"; THENCE, SOUTH 16°35'20" EAST ALONG SAID EAST LINE, A DISTANCE OF 165.14 FEET TO THE NORTH LINE OF NORTH FORK COUNTY ROAD AND THE SOUTHEAST CORNER OF PARCEL 1 OF SAID PARTITION PLAT; THENCE, ALONG A 328.10 FOOT RADIUS NON-TANGENT CURVE TO THE LEFT, THROUGH AN INTERNAL ANGLE OF 4°52'13", THE LONG CHORD OF WHICH BEARS NORTH 75°40'49" EAST 27.88 FEET, A LENGTH OF 27.89 FEET ALONG THE NORTH LINE OF SAID NORTH FORK COUNTY ROAD; THENCE, NORTH 73°14'42" EAST ALONG SAID NORTH LINE OF NORTH FORK COUNTY ROAD, A DISTANCE OF 98.34 FEET TO A FOUND 5/8 INCH IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "PLS 2351" AT THE SOUTH CORNER OF PARCEL 2 OF PARTITION PLAT 1999-38, TILLAMOOK COUNTY PLAT RECORDS; THENCE, NORTH 18°47'00" WEST ALONG THE WEST LINE OF SAID PARCEL 2, A DISTANCE OF 47.50 FEET TO A FOUND 1/2 INCH IRON PIPE; THENCE, NORTH 23°21'56" WEST ALONG THE WEST LINE OF THAT TRACT OF LAND FOUND IN BOOK 140, PAGE 98, TILLAMOOK COUNTY DEED RECORDS, A DISTANCE OF 110.08 FEET TO A FOUND 5/8 INCH IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "PLS 2351"; THENCE, NORTH 21°32'12" EAST ALONG SAID WEST LINE, A DISTANCE OF 262.71 FEET TO A FOUND 3/4 INCH IRON PIPE; THENCE, NORTH 21°22'37" EAST ALONG SAID WEST LINE, A DISTANCE OF 88.69 FEET TO A FOUND 1/2 INCH IRON PIPE AT THE NORTHWEST CORNER OF SAID TRACT OF LAND FOUND IN BOOK 140, PAGE 98, ALSO THE SOUTHWEST CORNER OF THAT TRACT OF LAND FOUND IN BOOK 383, PAGE 513, TILLAMOOK COUNTY DEED RECORDS; THENCE, NORTH 15°53'25" EAST ALONG THE WEST LINE OF SAID BOOK 383, PAGE 513, A DISTANCE OF 185.86 FEET TO A FOUND 5/8 INCH IRON ROD WITH A YELLOW PLASTIC STAMPED "PLS 2351"; THENCE, NORTH 74°50'00" EAST ALONG SAID WEST LINE, A DISTANCE OF 46.37 FEET TO A FOUND 5/8 INCH IRON PIPE WITH A YELLOW PLASTIC CAP STAMPED "PLS 2351" ON THE WEST LINE OF SAID NORTH FORK COUNTY ROAD AND AN 848.51 FOOT RADIUS CURVE; THENCE, 51.28 FEET ALONG SAID CURVE TO THE RIGHT, WITH AN INTERNAL ANGLE OF 3°27'46", THE CHORD OF WHICH BEARS NORTH 02°22'26" WEST 51.27 FEET TO A FOUND 5/8 INCH IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "PLS 2351"; THENCE, SOUTH 74°50'00" WEST, A DISTANCE OF 85.98 FEET TO A FOUND 5/8 INCH IRON ROD WITH A YELLOW PLASTIC CAP

STAMPED "PLS 2351"; THENCE, SOUTH 15°53'25" WEST ALONG THE EAST LINE OF THAT TRACT OF LAND FOUND IN BOOK 345, PAGE 264, TILLAMOOK COUNTY DEED RECORDS, A DISTANCE OF 211.72 FEET TO A FOUND 5/8 INCH IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "PLS 2351"; THENCE, SOUTH 21°22'37" WEST ALONG SAID EAST LINE, A DISTANCE OF 86.45 FEET TO A 5/8 INCH IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "PLS 1205"; THENCE, NORTH 21°54'58" WEST ALONG THE WEST LINE OF SAID TRACT OF LAND FOUND IN BOOK 345, PAGE 264, A DISTANCE OF 103.87 FEET TO A FOUND 5/8 INCH IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "PLS 2351"; THENCE, NORTH 11°34'37" EAST ALONG SAID WEST LINE, A DISTANCE OF 66.30 FEET TO A FOUND 5/8 INCH IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "PLS 1205"; THENCE, NORTH 10°27'18" EAST ALONG SAID WEST LINE, A DISTANCE OF 45.08 FEET TO A FOUND 5/8 INCH IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "PLS 1205"; THENCE, NORTH 21°10'46" EAST ALONG SAID WEST LINE, A DISTANCE OF 118.36 FEET TO A FOUND 5/8 INCH IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "PLS 1205"; THENCE, NORTH 05°06'03" EAST ALONG THE WEST LINE OF THOSE TRACTS OF LAND FOUND IN BOOK 359, PAGE 431, TILLAMOOK COUNTY DEED RECORDS, AND BOOK 369, PAGE 459, TILLAMOOK COUNTY DEED RECORDS, A DISTANCE OF 681.37 FEET TO A FOUND 5/8 INCH IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "PLS 2351"; THENCE, NORTH 23°06'19" WEST ALONG THE WEST LINE OF THAT TRACT OF LAND FOUND IN INSTRUMENT NUMBER 2000-388797, TILLAMOOK COUNTY DEED RECORDS, A DISTANCE OF 953.20 FEET TO A FOUND 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "PLS 2351"; THENCE, NORTH 88°34'19" WEST ALONG THE SOUTH LINE OF SAID INSTRUMENT, ALSO BEING THE NORTH LINE OF SAID SECTION 23, A DISTANCE OF 328.04 FEET TO A 5/8 INCH IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "HLB INC"; THENCE SOUTH 01°17'07" EAST ALONG THE EAST LINE OF THAT TRACT OF LAND FOUND IN BOOK 203, PAGE 253, TILLAMOOK COUNTY DEED RECORDS, A DISTANCE OF 990.84 FEET TO A 5/8 INCH IRON ROD WITH AN ILLEGIBLE YELLOW PLASTIC CAP; THENCE, NORTH 88°34'29" WEST ALONG THE SOUTH LINE OF SAID TRACT OF LAND FOUND IN BOOK 203, PAGE 253, A DISTANCE OF 714.57 FEET TO THE INITIAL POINT AND THE POINT OF BEGINNING.

RIVERVIEW MEADOWS PHASE 3 36 LOT SUBDIVISION

MAP 3N 10W SECTION 23B



**MORGAN CIVIL
ENGINEERING, INC.**

PO BOX 358
MANZANITA, OR 97130
(503) 801-6016
www.morgancivil.com

REGISTERED PROFESSIONAL
ENGINEER
63055
MASON R. MORGAN
RENEWAL DATE: DECEMBER 31, 2024

RIVERVIEW MEADOWS DEVELOPMENT, LLC
RIVERVIEW MEADOWS PHASE 3
TENTATIVE PLAN

SHEET
1
OF -24-

SECTION CORNER
15 14
22 23

**UTILITY LOCATE ONE CALL
(1-800-332-2344) or (8-1-1)**

ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987).

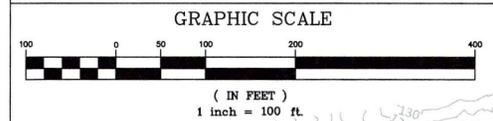
PROJECT IS AT RIVERVIEW MEADOWS, IN NEHALEM.
TAX LOT 3600, MAP 2N 10W 23B.

UTILITIES SERVICE PROVIDERS

OWNER RIVERVIEW MEADOWS LLC ALEX REVERMAN	ENGINEER MORGAN CIVIL ENGINEERING, INC. (503) 801-6016
WATER/ROADS CITY OF NEHALEM (503) 368-5767	ELECTRICITY TILLAMOOK PUD (503) 842-2535
SEWER NEHALEM BAY WASTEWATER AGENCY ATTN: BRUCE HALVERSON (503) 368-5125	CABLE TELEVISION CHARTER COMMUNICATION 1344 NORTHEAST HWY 101 LINCOLN CITY, OREGON 97367 (541) 994-3117

DEVELOPMENT DENSITY

GROSS DENSITY	NET DENSITY
EXISTING PROPERTY = 446,298 SF = 10.25 ACRES	NEW LOTS = 36 LOTS AREA OF LOTS = 304,682 = 6.99 ACRES
NEW LOTS = 36 LOTS	DEVELOPMENT DENSITY = 0.19 LOTS/ACRE



**SCOPE OF WORK
(PHASES 2 & 3)**

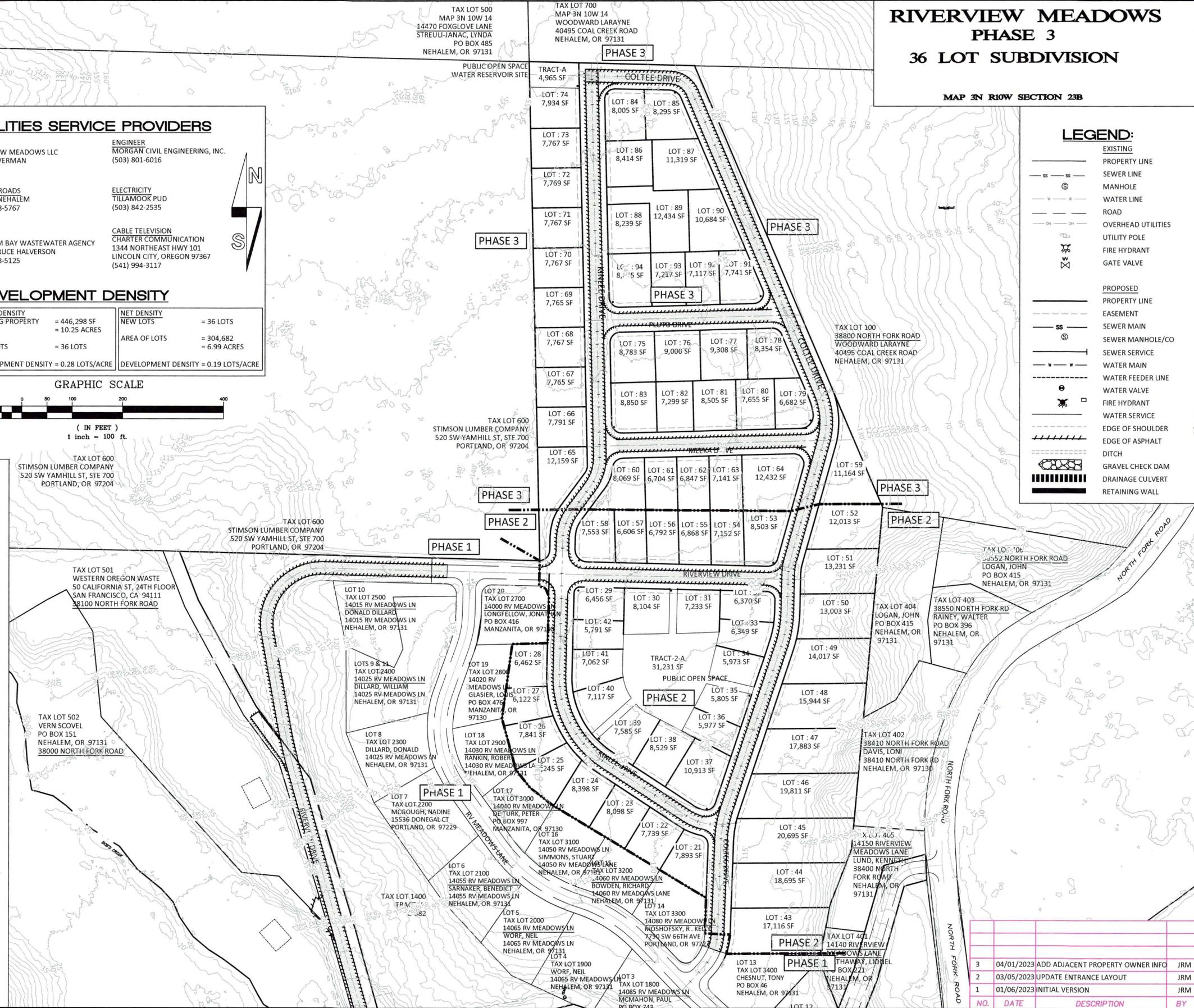
SEWER CONCRETE MANHOLES	14 EA
8"Ø PVC SEWER	4,280 LF
8"Ø CLEANOUT	1 EA
SERVICE LATERAL ASSEMBLY	74 EA
WATER MAIN	7,500 LF
GATE VALVE	25 EA
TEE	7 EA
WATER SERVICE ASSEMBLY	74 EA
STORM DRAINAGE	12 EA
18" CULVERT (±40 FT)	12 EA
ROAD FABRIC	21,000 SY
BASE ROCK	5,000 CY
LEVELING ROCK	1,700 CY
ASPHALT	4,000 TON

SHEET INDEX

- COVER SHEET
- PROPERTY LAYOUT
- NORTH AREA (PHASE 3)
- SOUTH AREA (PHASE 2)
- STORM SYSTEM
- UTILITY LAYOUT
- RIVERVIEW DRIVE-1
- RIVERVIEW DRIVE-2
- RIVERVIEW DRIVE-3
- RIVERVIEW DRIVE-4
- RIVERVIEW DRIVE-5
- RIVERVIEW DRIVE-6
- RIVERVIEW DRIVE-PROFILE
- COLTREE DRIVE-2
- COLTREE DRIVE-3
- COLTREE DRIVE-4
- KINLEE DRIVE-3
- KINLEE DRIVE-4
- MEEKA DRIVE-1
- MEEKA DRIVE-2
- PLUTO DRIVE
- ROADWAY ALIGNMENTS
- SEWER DETAILS
- WATER DETAILS

GENERAL NOTES:

- ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE NEHALEM PUBLIC WORKS (NPW), THE NEHALEM BAY WASTEWATER AGENCY (NBWA) AND THE 2021 APWA STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION INCLUDING SUPPLEMENTS. IN THE EVENT OF A CONFLICT BETWEEN NBWA AND/OR NPW POLICIES AND REGULATIONS AND THE APWA STANDARD SPECIFICATIONS, THE MORE STRINGENT SHALL CONTROL UNLESS OTHERWISE DIRECTED BY NBWA OR NPW.
- CONTRACTOR SHALL NOTIFY NBWA, NPW, CITY AND ALL UTILITY COMPANIES A MINIMUM OF 72 BUSINESS HOURS (3 BUSINESS DAYS) PRIOR TO THE START OF CONSTRUCTION OR RESUMING WORK AFTER SHUTDOWNS EXCEPT FOR NORMAL RESUMPTION OF WORK AFTER SUNDAYS OR HOLIDAYS. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF ORS 757.541 TO 757.571.
- CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO COMPLETE THE PROJECT IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DRAWINGS INCLUDING SUCH INCIDENTALS AS MAY BE NECESSARY TO MEET APPLICABLE AGENCY REQUIREMENTS AND PROVIDE A COMPLETED PROJECT
- CONTRACTOR SHALL PROCURE A RIGHT-OF-WAY PERMIT FROM THE CITY OF NEHALEM FOR ALL WORK WITHIN THE CITY RIGHT-OF-WAY AND CONFORM TO ALL CONDITIONS OF THE PERMIT.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE ALL BONDS AND INSURANCE REQUIRED BY PUBLIC OR PRIVATE AGENCIES HAVING JURISDICTION, INCLUDING NBWA AND NEHALEM.
- UNLESS OTHERWISE APPROVED BY NBWA, CONSTRUCTION OF SANITARY SEWER IMPROVEMENTS SHALL BE DONE BETWEEN 7:00 A.M. AND 6:00 P.M., MONDAY THROUGH SATURDAY. WORK OUTSIDE THESE HOURS SHALL BE APPROVED IN WRITING BY NBWA PRIOR TO THE START OF CONSTRUCTION OUTSIDE NORMAL WORK HOURS.
- ANY INSPECTION BY NBWA OR NPW SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN STRICT COMPLIANCE WITH THE APPLICABLE CODES AND AGENCY REQUIREMENTS.
- CONTRACTOR SHALL ERECT AND MAINTAIN BARRICADES, WARNING SIGNS, TRAFFIC CONES (AND ALL OTHER TRAFFIC CONTROL DEVICES REQUIRED) PER DISTRICT AND CITY REQUIREMENTS IN ACCORDANCE WITH THE CURRENT MUTCD (INCLUDING OREGON AMENDMENTS). ACCESS TO DRIVEWAYS SHALL BE MAINTAINED AT ALL TIMES. ALL TRAFFIC CONTROL MEASURES SHALL BE APPROVED AND IN PLACE PRIOR TO ANY CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF APPROVED DRAWINGS ON THE CONSTRUCTION SITE AT ALL TIMES WHEREON HE WILL RECORD ANY APPROVED DEVIATIONS IN CONSTRUCTION FROM THE APPROVED DRAWINGS, AS WELL AS THE STATION LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES ENCOUNTERED. THESE FIELD RECORD DRAWINGS SHALL BE KEPT UP TO DATE AT ALL TIMES AND SHALL BE AVAILABLE FOR INSPECTION BY THE UTILITY DISTRICTS UPON REQUEST
- SUBMITTALS SHALL BE PROVIDED BY THE CONTRACTOR TO NBWA AND NPW FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION IN ACCORDANCE WITH NBWA AND NPW REQUIREMENTS.
- THE CONTRACTOR SHALL SUBMIT A SUITABLE MAINTENANCE BOND PRIOR TO FINAL PAYMENT WHERE REQUIRED BY PUBLIC AND/OR PRIVATE AGENCIES HAVING JURISDICTION.



LEGEND:

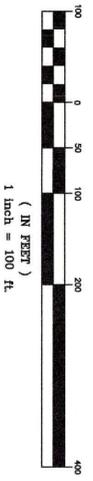
	EXISTING PROPERTY LINE
	SEWER LINE MANHOLE
	WATER LINE
	ROAD
	OVERHEAD UTILITIES
	UTILITY POLE
	FIRE HYDRANT
	GATE VALVE
	PROPOSED PROPERTY LINE
	EASEMENT
	SEWER MAIN
	SEWER MANHOLE/CO
	SEWER SERVICE
	WATER MAIN
	WATER FEEDER LINE
	WATER VALVE
	FIRE HYDRANT
	WATER SERVICE
	EDGE OF SHOULDER
	EDGE OF ASPHALT
	DITCH
	GRAVEL CHECK DAM
	DRAINAGE CULVERT
	RETAINING WALL

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RIVERVIEW MEADOWS PHASE 3 36 LOT SUBDIVISION

MAP 3N 10W SECTION 23B

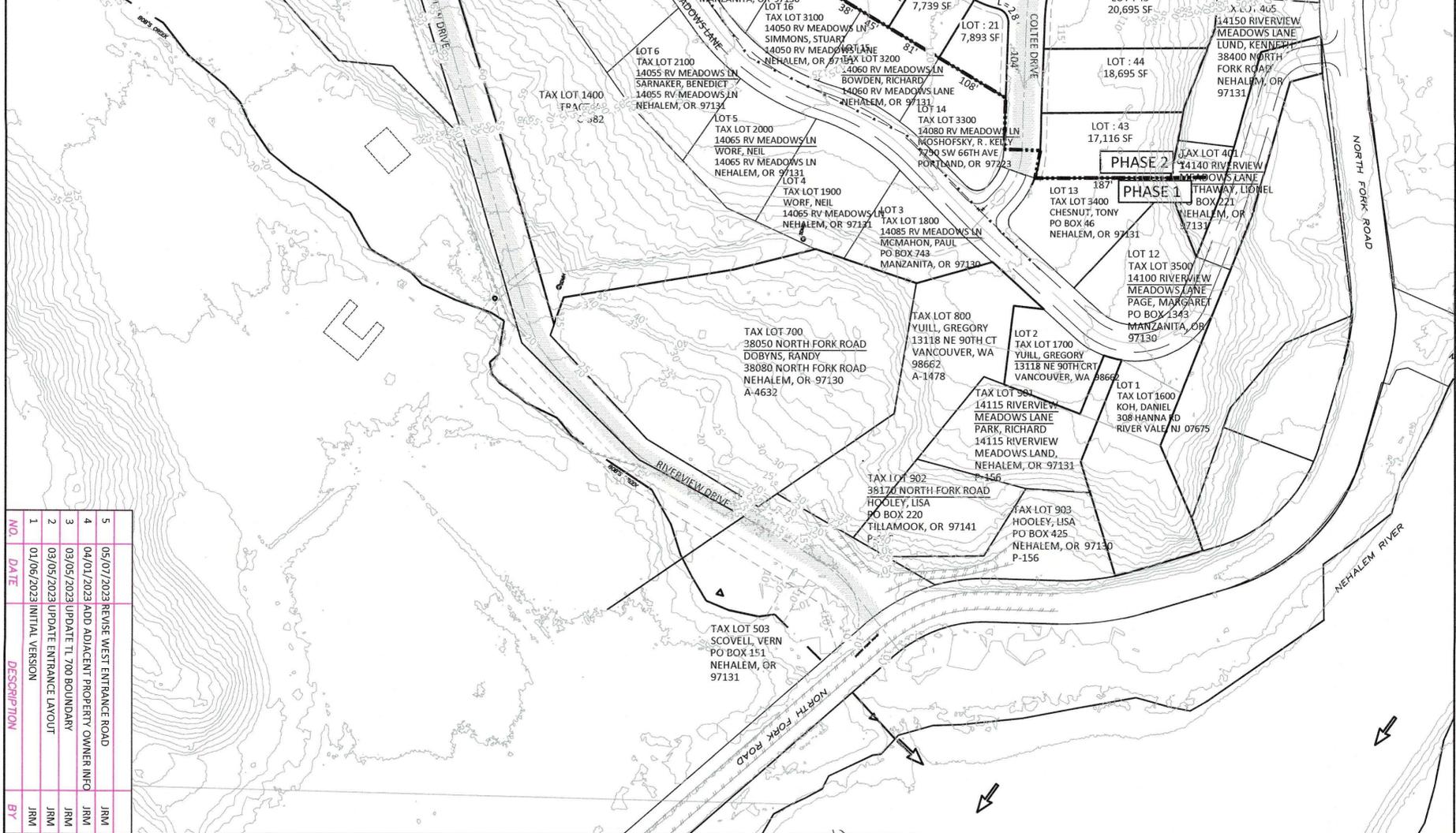
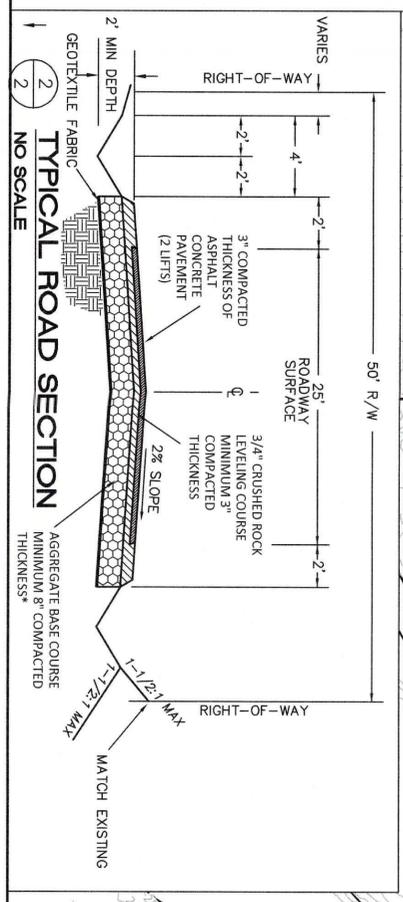
GRAPHIC SCALE



EXISTING UTILITIES AND FACILITIES:

- CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING PROPERTY AND STREET MONUMENTS PRIOR TO CONSTRUCTION. ANY MONUMENTS DISTURBED DURING CONSTRUCTION OF THE SANITARY SEWERAGE IMPROVEMENTS SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE. THE MONUMENTS SHALL BE REPLACED WITHIN A MAXIMUM OF 90 DAYS, AND THE CITY SURVEYOR SHALL BE NOTIFIED IN WRITING AS REQUIRED BY ORS 209.150.
- THE LOCATION AND DESCRIPTION OF EXISTING NBWA AND NPW FACILITIES SHOWN ON THE DRAWINGS ARE COMPILED FROM AVAILABLE RECORDS AND/OR FIELD SURVEYS. NBWA AND NPW DO NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF SUCH RECORDS. CONTRACTOR SHALL FIELD VERIFY SIZES AND LOCATIONS OF ALL EXISTING NBWA FACILITIES PRIOR TO CONSTRUCTION.
- ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987).
- CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES MARKED NEW FACILITIES CROSS OR ARE CLOSELY PARALLEL TO THE EXISTING FACILITIES. ALL UTILITY CROSSINGS WARE OR SHOWN ON THE DRAWINGS SHALL BE FOTHOLED USING HAND TOOLS OR OTHER NON-INVASIVE METHODS PRIOR TO EXCAVATING OR BORING. CONTRACTOR SHALL BE RESPONSIBLE FOR EXPOSING POTENTIAL UTILITY CONFLICTS FAR ENOUGH AHEAD OF CONSTRUCTION TO MAKE NECESSARY GRADE MODIFICATIONS WITHOUT DELAYING THE WORK. IF GRADE MODIFICATION IS NECESSARY, CONTRACTOR SHALL NOTIFY THE DEVELOPER'S ENGINEER, AND THE DEVELOPER'S ENGINEER SHALL OBTAIN APPROVAL FROM NBWA AND/OR NPW PRIOR TO CONSTRUCTION. ALL UTILITY CROSSINGS SHALL BE FOTHOLED AS NECESSARY PRIOR TO EXCAVATING OR BORING TO ALLOW THE CONTRACTOR TO PREVENT GRADE OR ALIGNMENT CONFLICTS.
- ALL EXISTING NBWA AND NPW FACILITIES SHALL BE MAINTAINED IN-PLACE BY THE CONTRACTOR UNLESS OTHERWISE SHOWN OR DIRECTED BY NBWA OR NPW. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO SUPPORT, MAINTAIN OR OTHERWISE PROTECT EXISTING FACILITIES AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR SHALL LEAVE EXISTING FACILITIES IN AN EQUAL OR BETTER-THAN-ORIGINAL CONDITION AND TO THE SATISFACTION OF NBWA AND/OR NPW.
- NBWA OR NPW UTILITIES, OR INTERFERING PORTIONS OF NBWA OR NPW FACILITIES, THAT ARE ABANDONED IN PLACE SHALL BE REMOVED BY THE CONTRACTOR TO THE EXTENT NECESSARY TO ACCOMPLISH THE WORK. THE CONTRACTOR SHALL PLUG THE REMAINING EXPOSED ENDS OF THE ABANDONED UTILITIES.

PROPERTY LAYOUT
SCALE: 1"=100'



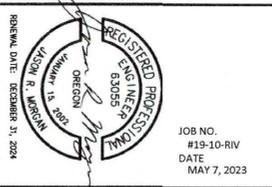
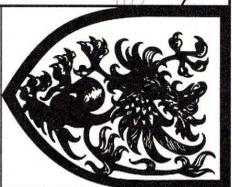
NO.	DATE	DESCRIPTION	BY
1	01/06/2023	INITIAL VERSION	JMM
2	03/05/2023	UPDATE ENTRANCE LAYOUT	JMM
3	03/05/2023	UPDATE TL 700 BOUNDARY	JMM
4	04/01/2023	ADD ADJACENT PROPERTY OWNER INFO	JMM
5	05/07/2023	REVISE WEST ENTRANCE ROAD	JMM

RIVERVIEW MEADOWS DEVELOPMENT, LLC
RIVERVIEW MEADOWS PHASE 3
TENTATIVE PLAN

NEHALEM, MAP 3N 10W 23B

MORGAN CIVIL
ENGINEERING, INC.

PO BOX 358
MANZANITA, OR 97130
(503) 801-6016
www.morgancivil.com



JOB NO.
#19-10-RIV
DATE
MAY 7, 2023

SANITARY SEWAGE FACILITIES:

- UNLESS OTHERWISE NOTED, MATERIALS AND WORKMANSHIP FOR SANITARY SEWER SHALL CONFORM TO OSSC (ODOT/APWA) SPECIFICATIONS, 2021 EDITION.
- THE CONTRACTOR SHALL HAVE APPROPRIATE EQUIPMENT ON SITE TO PRODUCE A FIRM, SMOOTH, UNDISTURBED SUBGRADE AT THE TRENCH BOTTOM, TRUE TO GRADE. THE BOTTOM OF THE TRENCH EXCAVATION SHALL BE SMOOTH, FREE OF LOOSE MATERIALS OR TOOTH GROOVES FOR THE ENTIRE WIDTH OF THE TRENCH PRIOR TO PLACING THE GRANULAR BEDDING MATERIAL.
- BEDDING AND BACKFILL. ALL SANITARY SEWER PIPES SHALL BE BEDDED WITH A MINIMUM OF 4-INCHES OF 3/4" MINUS CRUSHED ROCK BEDDING AND BACKFILLED WITH COMPACTED 3/4" MINUS CRUSHED ROCK IN THE PIPE ZONE (CRUSHED ROCK SHALL EXTEND A MINIMUM OF 12-INCHES OVER THE TOP OF THE PIPE IN ALL CASES). CRUSHED ROCK TRENCH BACKFILL SHALL BE USED UNDER ALL IMPROVED AREAS, INCLUDING SIDEWALKS.
- TRENCH BACKFILL IN THE PIPE ZONE SHALL BE ACHIEVED BY MECHANICAL MEANS IN HORIZONTAL LIFTS TO NINETY PERCENT (90%) OF THE MAXIMUM DRY DENSITY PER AASHTO T-180 TEST METHOD.
- COMPACTION IN THE BACKFILL ZONE (MORE THAN 12" ABOVE THE TOP OF PIPE) AND WITHIN THE STREET RIGHT OF WAY SHALL BE ACHIEVED BY MECHANICAL MEANS IN HORIZONTAL LIFTS TO NINETY-TWO PERCENT (92%) OF THE MAXIMUM DRY DENSITY PER AASHTO T-180 TEST METHOD UNLESS A GREATER DEGREE OF COMPACTION IS REQUIRED BY ANOTHER AGENCY WITH JURISDICTION.
- COMPACTION IN THE BACKFILL ZONE (MORE THAN 12" ABOVE THE TOP OF PIPE) AND OUTSIDE THE STREET RIGHT OF WAY SHALL BE ACHIEVED BY MECHANICAL MEANS IN HORIZONTAL LIFTS TO NINETY PERCENT (90%) OF THE MAXIMUM DRY DENSITY PER AASHTO T-180 TEST METHOD UNLESS A GREATER DEGREE OF COMPACTION IS REQUIRED BY ANOTHER AGENCY WITH JURISDICTION.
- CRUSHED ROCK SHALL CONFORM TO THE REQUIREMENTS OF OSSC (2021 ODOT/APWA) 02630.10 (DENSE GRADED BASE AGGREGATE).
- ALL CITY OF NEHALEM PIPED FACILITIES ABANDONED IN PLACE SHALL HAVE ALL OPENINGS CLOSED WITH CONCRETE PLUGS WITH A MINIMUM LENGTH EQUAL TO TWO (2) TIMES THE DIAMETER OF THE ABANDONED PIPE.
- THE END OF ALL UTILITY STUBS SHALL BE MARKED WITH A PAINTED 2x4, EXTENDING 2 FEET MINIMUM ABOVE FINISH GRADE, AND WIRED TO PIPE STUB (PAINTED WHITE FOR SANITARY SEWER). TYPE OF UTILITY (IE. SEWER) AND DEPTH BELOW GRADE TO PIPE INVERT SHALL BE CLEARLY & PERMANENTLY LABELED ON THE MARKER POST.
- NO TRENCHES IN ROADS OR DRIVEWAYS SHALL BE LEFT IN AN OPEN CONDITION OVERNIGHT. ALL SUCH TRENCHES SHALL BE CLOSED BEFORE THE END OF EACH WORK DAY AND NORMAL TRAFFIC FLOWS RESTORED.
- SANITARY SEWER & WATERLINE CROSSINGS. WHERE SANITARY SEWER LINES CROSS ABOVE OR WITHIN 18-INCHES OF VERTICAL SEPARATION BELOW A WATERLINE, SEWER MAINS AND/OR LATERALS SHALL BE REPLACED WITH DUCTILE IRON PIPE AT THE CROSSING. CENTER ONE FULL LENGTH OF CLASS 50 DUCTILE IRON PIPE CONFORMING TO AWWA C-151 AND C-104 AT POINT OF CROSSING. CONNECT TO EXISTING SEWER LINES WITH APPROVED RUBBER COUPLINGS.
- PER DEQ REQUIREMENTS, DEVELOPER/CONTRACTOR SHALL HAVE SANITARY SEWERAGE FACILITIES INSPECTED, TESTED PER APWA PROCEDURES AND CERTIFIED BY A LICENSED ENGINEER.
- UNLESS OTHERWISE SPECIFIED, SANITARY SEWER PIPE SHALL BE PVC IN CONFORMANCE WITH ASTM D3034, SDR 35. MINIMUM STIFFNESS SHALL BE 46 PSI PER ASTM D-2412 AND JOINT TYPE SHALL BE ELASTOMERIC GASKET CONFORMING TO ASTM D-3212. ALL OTHER APPURTENANCES AND INSTALLATION SHALL CONFORM TO CITY OF NEHALEM REQUIREMENTS.
- SANITARY SEWER MANHOLES SHALL HAVE PRECAST BASE SECTIONS OF MONOLITHIC CONSTRUCTION AND SHALL BE MANUFACTURED SUCH THAT THE BASE SECTION IS INTEGRAL WITH THE BASE SLAB. THE MINIMUM BASE THICKNESS SHALL BE 6-INCHES. MANHOLE BASES SHALL HAVE CORE DRILLED OPENINGS AND FLEXIBLE MANHOLE TO PIPE CONNECTORS FOR THE CONNECTIONS TO PIPE STUB OUTS. FLEXIBLE JOINTS FOR PIPE OPENINGS SHALL BE "RES-SEAL" AS MANUFACTURED BY PRICE BROTHERS CO., "KOR-N-SEAL" AS MANUFACTURED BY NATIONAL POLLUTION CONTROL SYSTEMS, INC. OR CITY OF NEHALEM APPROVED EQUAL.
- MANHOLE PRECAST SECTIONS SHALL MEET OR EXCEED ASTM C-478 AND SHALL HAVE WATERTIGHT O-RING OR MASTIC KEYLOCK JOINT.
- MANHOLES SHALL BE INSTALLED WITH STEPS. STEPS TO BE FACTORY INSTALLED POLYPROPYLENE PLASTIC WITH GRADE 60 REINFORCING ROD.
- FLAT TOP MANHOLES SHALL BE USED FOR ALL MANHOLES LESS THAN 6 FEET RIM TO INVERT.
- OPENINGS FOR CONNECTIONS TO EXISTING MANHOLES SHALL BE MADE BY CORE-DRILLING THE EXISTING MANHOLE STRUCTURE AND INSTALLING A RUBBER BOOT. CONNECTIONS TO BE WATERTIGHT AND SHALL PROVIDE A SMOOTH FLOW INTO AND THROUGH THE MANHOLE. SMALL CHIPPING HAMMERS OR SIMILAR LIGHT TOOLS WHICH WILL NOT DAMAGE OR CRACK THE MANHOLE BASE MAY BE USED TO SHAPE CHANNELS. USE OF LARGE PNEUMATIC JACKHAMMERS SHALL BE PROHIBITED. UNLESS OTHERWISE APPROVED IN WRITING BY THE DISTRICT ENGINEER, MANHOLE STEPS SHALL BE INSTALLED IN ANY MANHOLE TAPPED WHICH DOES NOT HAVE EXISTING STEPS.
- SANITARY SEWER TESTING. SANITARY SEWERS AND RELATED APPURTENANCES SHALL BE TESTED IN ACCORDANCE WITH THE OSSC (ODOT/APWA) SPECIFICATIONS, 2021 EDITION UNLESS OTHERWISE REQUIRED BY CITY OF NEHALEM. THE COST OF ALL TESTING AND ANY CORRECTIVE WORK ARE THE RESPONSIBILITY OF THE DEVELOPER.
- SANITARY PIPE CLEANING. PRIOR TO MANDREL OR AIR TESTING, FLUSH AND CLEAN ALL SEWERS TO REMOVE ALL FOREIGN MATERIALS FROM MAINLINES AND MANHOLES. FAILURE TO CLEAN ALL DIRT AND DEBRIS FROM PIPELINES PRIOR TO TV INSPECTION WILL RESULT IN THE NEED TO RE-CLEAN AND RE-TV THE LINES.
- SEWER PIPE AIR TESTING. CONFORM TO OSSC (ODOT/APWA) 00455.72.C AND THE PROCEDURE LISTED ON THE TEST FORM IN PWDS APPENDIX A. ALL SANITARY SEWER MAINS, SERVICES AND APPURTENANCES SHALL BE TESTED FOR LEAKAGE. LEAKAGE TESTS SHALL INCLUDE AN AIR TEST OF ALL SEWER MAINS AND LATERALS PRIOR TO PAVING, AND A SEPARATE AIR TEST OF ALL SEWER MAINS AND LATERALS FOLLOWING EXCAVATION AND BACKFILLING OF ANY FRANCHISE UTILITY TRENCHES OR OTHER UTILITY WORK THAT CROSSES SANITARY SEWER LATERALS.
- SEWER PIPE DEFLECTION TESTING. CONFORM TO OSSC (ODOT/APWA) 00445.73. CONTRACTOR SHALL CONDUCT DEFLECTION TEST OF FLEXIBLE SANITARY SEWER PIPES BY PULLING AN APPROVED MANDREL THROUGH ALL COMPLETED SEWER MAINS FOLLOWING TRENCH COMPACTION. THE DIAMETER OF THE MANDREL SHALL BE 95% OF THE INITIAL PIPE DIAMETER.
- TV INSPECTION OF SANITARY SEWERS. UPON COMPLETION OF ALL SEWER CONSTRUCTION, TESTING AND REPAIR, THE CONTRACTOR SHALL CONDUCT A COLOR TV ACCEPTANCE INSPECTION OF ALL MAINLINES IN ACCORDANCE WITH OSSC (ODOT/APWA) 445.74 TO DETERMINE COMPLIANCE WITH GRADE REQUIREMENTS OF OSSC (ODOT/APWA) 445.40.B. THE TV INSPECTION SHALL BE CONDUCTED BY AN APPROVED TECHNICAL SERVICE WHICH IS EQUIPPED TO MAKE AUDIO-VISUAL RECORDINGS OF THE TV INSPECTIONS ON DVD (VHS VIDEO TAPE ACCEPTABLE ONLY UPON PRIOR WRITTEN APPROVAL BY CITY OF NEHALEM). UNLESS OTHERWISE APPROVED IN WRITING BY THE DISTRICT ENGINEER, A STANDARD 1-INCH DIAMETER BALL SHALL BE SUSPENDED IN FRONT OF THE CAMERA DURING THE INSPECTION TO DETERMINE THE DEPTH OF ANY STANDING WATER. SUFFICIENT WATER TO REVEAL LOW AREAS OR REVERSE GRADES SHALL BE DISCHARGED INTO THE PIPE IMMEDIATELY PRIOR TO INITIATION OF THE TV INSPECTION. THE DVD AND WRITTEN REPORT SHALL BE DELIVERED TO THE DISTRICT ENGINEER.
- MANHOLE TESTING. CONFORM TO SECTION OSSC (ODOT/APWA) 00471.B OR CITY OF NEHALEM APPROVED VACUUM TEST PROCEDURE. ALL MANHOLES SHALL BE VACUUM TESTED FOLLOWING COMPLETION OF PAVING OR FINAL SURFACE RESTORATION.
- RE-INSPECTION OF THE SANITARY SEWER SYSTEM USING TV INSPECTION PLUS ANY OR ALL OF THE ABOVE TEST METHODS SHALL BE PERFORMED AS REQUIRED BY CITY OF NEHALEM NEAR THE COMPLETION OF THE 18 MONTH WARRANTY PERIOD. THE RESULTS OF THESE TEST(S) WILL BE USED BY CITY OF NEHALEM TO DETERMINE IF FINAL ACCEPTANCE OF THE SYSTEM IS WARRANTED AND WHAT CORRECTIVE WORK IS REQUIRED PRIOR TO FINAL ACCEPTANCE. THE COST OF THESE RE-INSPECTIONS AND ANY CORRECTIVE WORK ARE THE RESPONSIBILITY OF THE DEVELOPER.
- PRIOR TO OR CONCURRENT WITH CONNECTION TO A SANITARY SEWER LATERAL, IT SHALL BE DEMONSTRATED TO THE DISTRICT THAT THE SEWER LATERAL IS NOT OBSTRUCTED. THIS SHALL BE ACCOMPLISHED BY "SNAKING" THE SERVICE LATERAL DOWNSTREAM OF THE CONNECTION POINT TO THE MAINLINE, OR SIMILAR METHOD ACCEPTABLE TO THE DISTRICT. DISTRICT PERSONNEL OR AUTHORIZED AGENT SHALL BE PRESENT DURING THE "SNAKING" OR OTHER DEMONSTRATION METHOD.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED OR NECESSARY INSPECTIONS ARE COMPLETED BY AUTHORIZED INSPECTORS PRIOR TO PROCEEDING WITH SUBSEQUENT WORK WHICH COVERS OR THAT IS DEPENDENT ON THE WORK TO BE INSPECTED. FAILURE TO OBTAIN NECESSARY INSPECTION(S) AND APPROVAL(S) SHALL RESULT IN THE CONTRACTOR BEING FULLY RESPONSIBLE FOR ALL PROBLEMS AND/OR CORRECTIVE MEASURES ARISING FROM UNINSPECTED WORK.

LEGEND:

EXISTING

- PROPERTY LINE
- SEWER LINE
- MANHOLE
- WATER LINE
- ROAD
- OVERHEAD UTILITIES
- UTILITY POLE
- FIRE HYDRANT
- GATE VALVE

PROPOSED

- PROPERTY LINE
- EASEMENT
- SEWER MAIN
- SEWER MANHOLE/CO
- SEWER SERVICE
- WATER MAIN
- WATER FEEDER LINE
- WATER VALVE
- FIRE HYDRANT
- WATER SERVICE
- EDGE OF SHOULDER
- EDGE OF ASPHALT
- DITCH
- GRAVEL CHECK DAM
- DRAINAGE CULVERT



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RIVERVIEW MEADOWS DEVELOPMENT, LLC
RIVERVIEW MEADOWS PHASE 3
TENTATIVE PLAN

NEHALEM, MAP 3N 10W 23B

SHEET
3
OF -24-

NO.	DATE	DESCRIPTION	BY
1	01/06/2023	INITIAL VERSION	JRM

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RIVERVIEW MEADOWS
PHASE 2
38 LOT SUBDIVISION

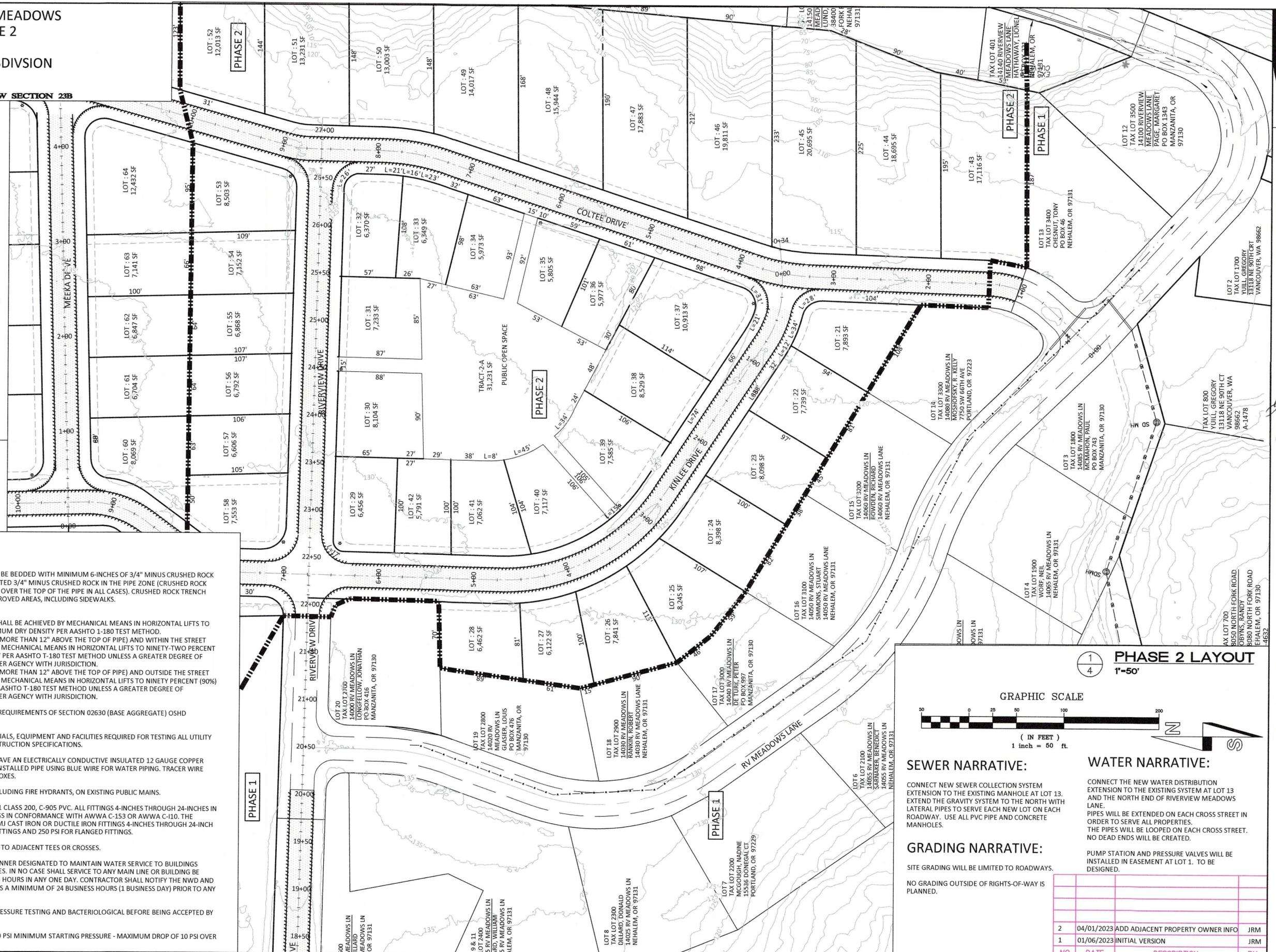
MAP 3N 10W SECTION 23B

LEGEND:

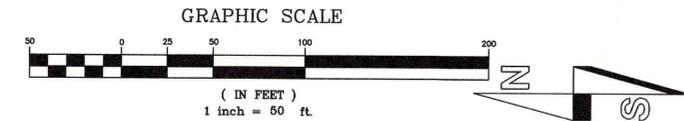
- EXISTING**
- PROPERTY LINE
 - SEWER LINE
 - MANHOLE
 - WATER LINE
 - ROAD
 - OVERHEAD UTILITIES
 - UTILITY POLE
 - FIRE HYDRANT
 - GATE VALVE
- PROPOSED**
- PROPERTY LINE
 - EASEMENT
 - SEWER MAIN
 - SEWER MANHOLE/CO
 - SEWER SERVICE
 - WATER MAIN
 - WATER FEEDER LINE
 - WATER VALVE
 - FIRE HYDRANT
 - WATER SERVICE
 - EDGE OF SHOULDER
 - EDGE OF ASPHALT
 - DITCH
 - GRAVEL CHECK DAM
 - DRAINAGE CULVERT

WATER UTILITIES:

1. BEDDING AND BACKFILL. ALL PIPES SHALL BE BEDDED WITH MINIMUM 6-INCHES OF 3/4" MINUS CRUSHED ROCK BEDDING AND BACKFILLED WITH COMPACTED 3/4" MINUS CRUSHED ROCK IN THE PIPE ZONE (CRUSHED ROCK SHALL EXTEND A MINIMUM OF 12-INCHES OVER THE TOP OF THE PIPE IN ALL CASES). CRUSHED ROCK TRENCH BACKFILL SHALL BE USED UNDER ALL IMPROVED AREAS, INCLUDING SIDEWALKS.
2. COMPACTION REQUIREMENTS.
 - A. TRENCH BACKFILL IN THE PIPE ZONE SHALL BE ACHIEVED BY MECHANICAL MEANS IN HORIZONTAL LIFTS TO NINETY PERCENT (90%) OF THE MAXIMUM DRY DENSITY PER AASHTO 1-180 TEST METHOD.
 - B. COMPACTION IN THE BACKFILL ZONE (MORE THAN 12" ABOVE THE TOP OF PIPE) AND WITHIN THE STREET RIGHT OF WAY SHALL BE ACHIEVED BY MECHANICAL MEANS IN HORIZONTAL LIFTS TO NINETY-TWO PERCENT (92%) OF THE MAXIMUM DRY DENSITY PER AASHTO 1-180 TEST METHOD UNLESS A GREATER DEGREE OF COMPACTION IS REQUIRED BY ANOTHER AGENCY WITH JURISDICTION.
 - C. COMPACTION IN THE BACKFILL ZONE (MORE THAN 12" ABOVE THE TOP OF PIPE) AND OUTSIDE THE STREET RIGHT OF WAY SHALL BE ACHIEVED BY MECHANICAL MEANS IN HORIZONTAL LIFTS TO NINETY PERCENT (90%) OF THE MAXIMUM DRY DENSITY PER AASHTO 1-180 TEST METHOD UNLESS A GREATER DEGREE OF COMPACTION IS REQUIRED BY ANOTHER AGENCY WITH JURISDICTION.
3. CRUSHED ROCK SHALL CONFORM TO THE REQUIREMENTS OF SECTION 02630 (BASE AGGREGATE) OSHD STANDARD SPECIFICATIONS.
4. CONTRACTOR SHALL PROVIDE ALL MATERIALS, EQUIPMENT AND FACILITIES REQUIRED FOR TESTING ALL UTILITY PIPING IN ACCORDANCE WITH NWD CONSTRUCTION SPECIFICATIONS.
5. TRACER WIRE. ALL WATER PIPING SHALL HAVE AN ELECTRICALLY CONDUCTIVE INSULATED 12 GAUGE COPPER TRACER WIRE THE FULL LENGTH OF THE INSTALLED PIPE USING BLUE WIRE FOR WATER PIPING. TRACER WIRE SHALL BE EXTENDED UP INTO ALL VALVE BOXES.
6. NWD STAFF TO OPERATE ALL VALVES, INCLUDING FIRE HYDRANTS, ON EXISTING PUBLIC MAINS.
7. ALL WATER MAINS SHALL BE ASTM D-2241 CLASS 200, C-905 PVC. ALL FITTINGS 4-INCHES THROUGH 24-INCHES IN DIAMETER SHALL BE DUCTILE IRON FITTINGS IN CONFORMANCE WITH AWWA C-153 OR AWWA C-110. THE MINIMUM WORKING PRESSURE FOR ALL M1 CAST IRON OR DUCTILE IRON FITTINGS 4-INCHES THROUGH 24-INCH IN DIAMETER SHALL BE 350 PSI FOR M3 FITTINGS AND 250 PSI FOR FLANGED FITTINGS.
8. ALL VALVES SHALL BE FLANGE CONNECTED TO ADJACENT TEES OR CROSSES.
9. THE WORK SHALL BE PERFORMED IN A MANNER DESIGNATED TO MAINTAIN WATER SERVICE TO BUILDINGS SUPPLIED FROM THE EXISTING WATERLINES. IN NO CASE SHALL SERVICE TO ANY MAIN LINE OR BUILDING BE INTERRUPTED FOR MORE THAN FOUR (4) HOURS IN ANY ONE DAY. CONTRACTOR SHALL NOTIFY THE NWD AND ALL AFFECTED RESIDENTS AND BUSINESSES A MINIMUM OF 24 BUSINESS HOURS (1 BUSINESS DAY) PRIOR TO ANY INTERRUPTION OF SERVICE.
10. ALL WATERLINE SEGMENTS SUBJECT TO PRESSURE TESTING AND BACTERIOLOGICAL BEFORE BEING ACCEPTED BY NWD. COORDINATE WITH NWD.
11. PRESSURE TEST: 2 HOURS MINIMUM. 150 PSI MINIMUM STARTING PRESSURE - MAXIMUM DROP OF 10 PSI OVER DURATION OF TEST.



PHASE 2 LAYOUT
1"=50'



SEWER NARRATIVE:

CONNECT NEW SEWER COLLECTION SYSTEM EXTENSION TO THE EXISTING MANHOLE AT LOT 13. EXTEND THE GRAVITY SYSTEM TO THE NORTH WITH LATERAL PIPES TO SERVE EACH NEW LOT ON EACH ROADWAY. USE ALL PVC PIPE AND CONCRETE MANHOLES.

GRADING NARRATIVE:

SITE GRADING WILL BE LIMITED TO ROADWAYS. NO GRADING OUTSIDE OF RIGHTS-OF-WAY IS PLANNED.

WATER NARRATIVE:

CONNECT THE NEW WATER DISTRIBUTION EXTENSION TO THE EXISTING SYSTEM AT LOT 13 AND THE NORTH END OF RIVERVIEW MEADOWS LANE. PIPES WILL BE EXTENDED ON EACH CROSS STREET IN ORDER TO SERVE ALL PROPERTIES. THE PIPES WILL BE LOOPED ON EACH CROSS STREET. NO DEAD ENDS WILL BE CREATED.

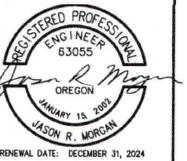
PUMP STATION AND PRESSURE VALVES WILL BE INSTALLED IN EASEMENT AT LOT 1. TO BE DESIGNED.

NO.	DATE	DESCRIPTION	BY
2	04/01/2023	ADD ADJACENT PROPERTY OWNER INFO	JRM
1	01/06/2023	INITIAL VERSION	JRM



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RIVERVIEW MEADOWS DEVELOPMENT, LLC
RIVERVIEW MEADOWS PHASE 3
PHASE 2 LAYOUT

SHEET

4

OF -24-

NEHALEM, MAP 3N 10W 23B

RIVERVIEW MEADOWS PHASE 3 36 LOT SUBDIVISION

MAP 3N 10W SECTION 23B

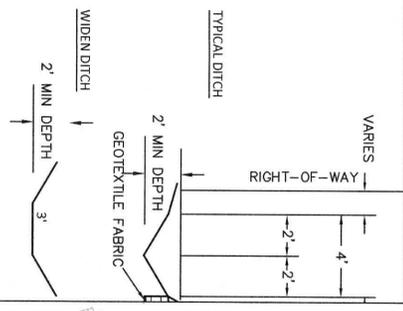


2 DITCH SECTIONS
NO SCALE

1 SITE DRAINAGE
SCALE: 1"=80'

STORMWATER NARRATIVE

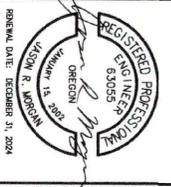
STORMWATER RUN-OFF FROM THE EASTERN EDGE OF SITE TO BE CONVEYED TO EXISTING DITCHES THAT RUN EASTWARD DOWN THE SLOPE TO TL 404 AND NORTH FORK ROAD. THESE DITCHES THROUGH PLANNED LOTS 46 AND 51.
STORMWATER FROM THE REMAINDER OF THE SITE IS TO BE CONVEYED IN DITCHES TO LOT 13 AND LOT 3 FOR ON-SITE DISPOSAL. FROM PHASE 1, DRAIN PIPES ARE IN PLACE IN THE EASEMENT ON THE BACK SIDE OF PHASE 1. DRAIN CULVERTS WILL BE USED IN ORDER TO CROSS ROADS AND DRIVEWAYS.
ENTRY ROAD WILL INCLUDE CHECK DAMS TO BE USED IN DITCHES TO SLOW WATER.



NO.	DATE	DESCRIPTION	BY
1	01/06/2023	INITIAL VERSION	JRM
2	03/05/2023	UPDATE ENTRANCE LAYOUT	JRM
3	04/01/2023	ADD ADJACENT PROPERTY OWNER INFO	JRM
4	05/07/2023	UPDATE DRAINAGE PATTERNS	JRM

RIVERVIEW MEADOWS DEVELOPMENT, LLC RIVERVIEW MEADOWS PHASE 3 DRAINAGE LAYOUT

NEHALEM, MAP 3N 10W 23B

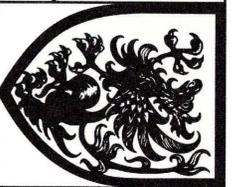


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JOB NO. #19-10-RIV
DATE MAY 7, 2023

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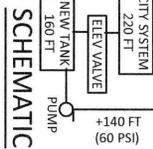
RIVERVIEW MEADOWS PHASE 3 36 LOT SUBDIVISION

MAP 3N R10W SECTION 23B

GRAPHIC SCALE



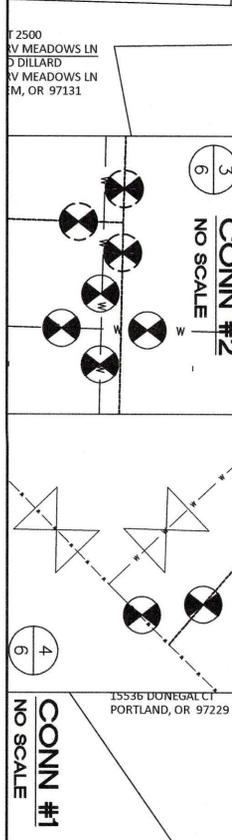
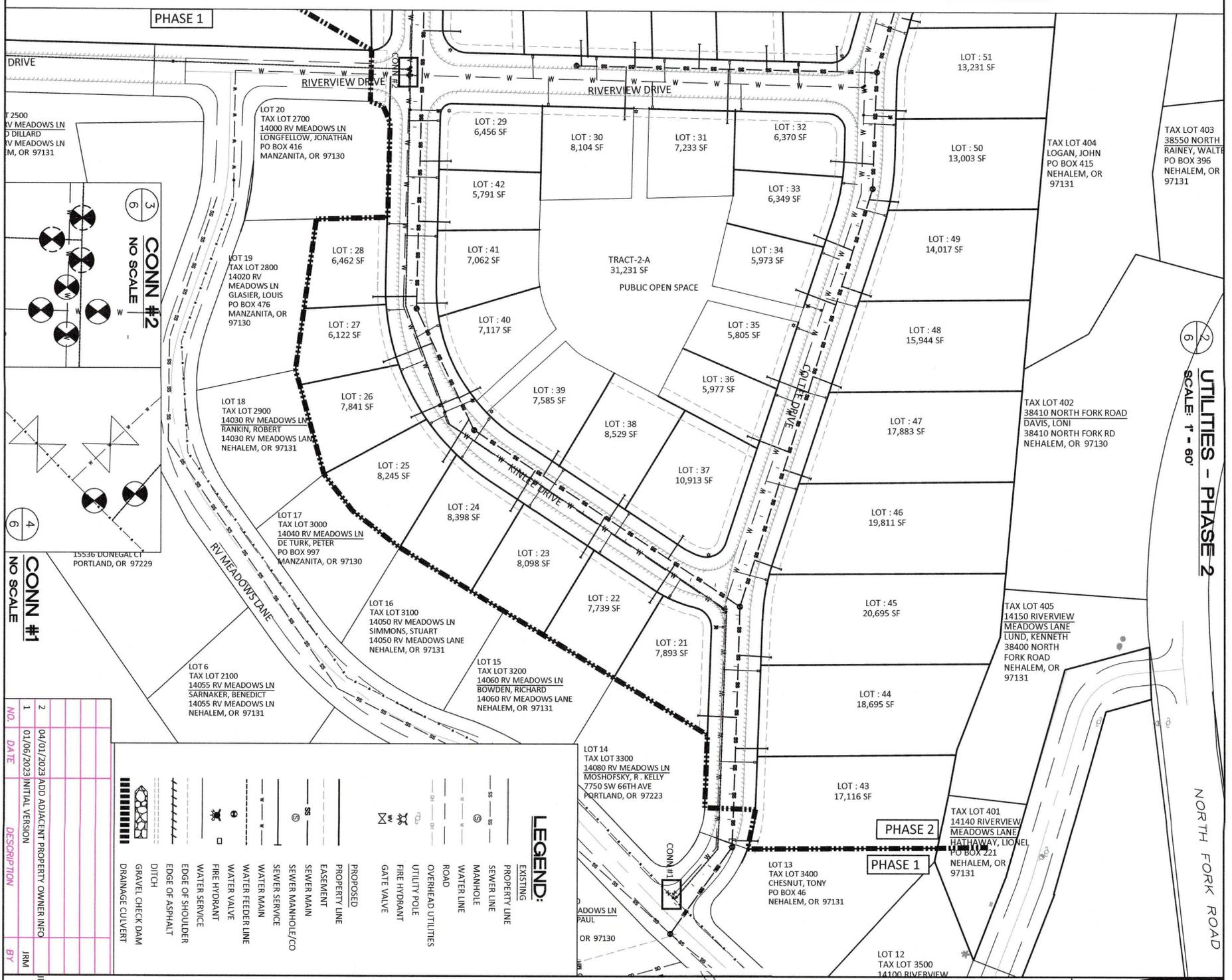
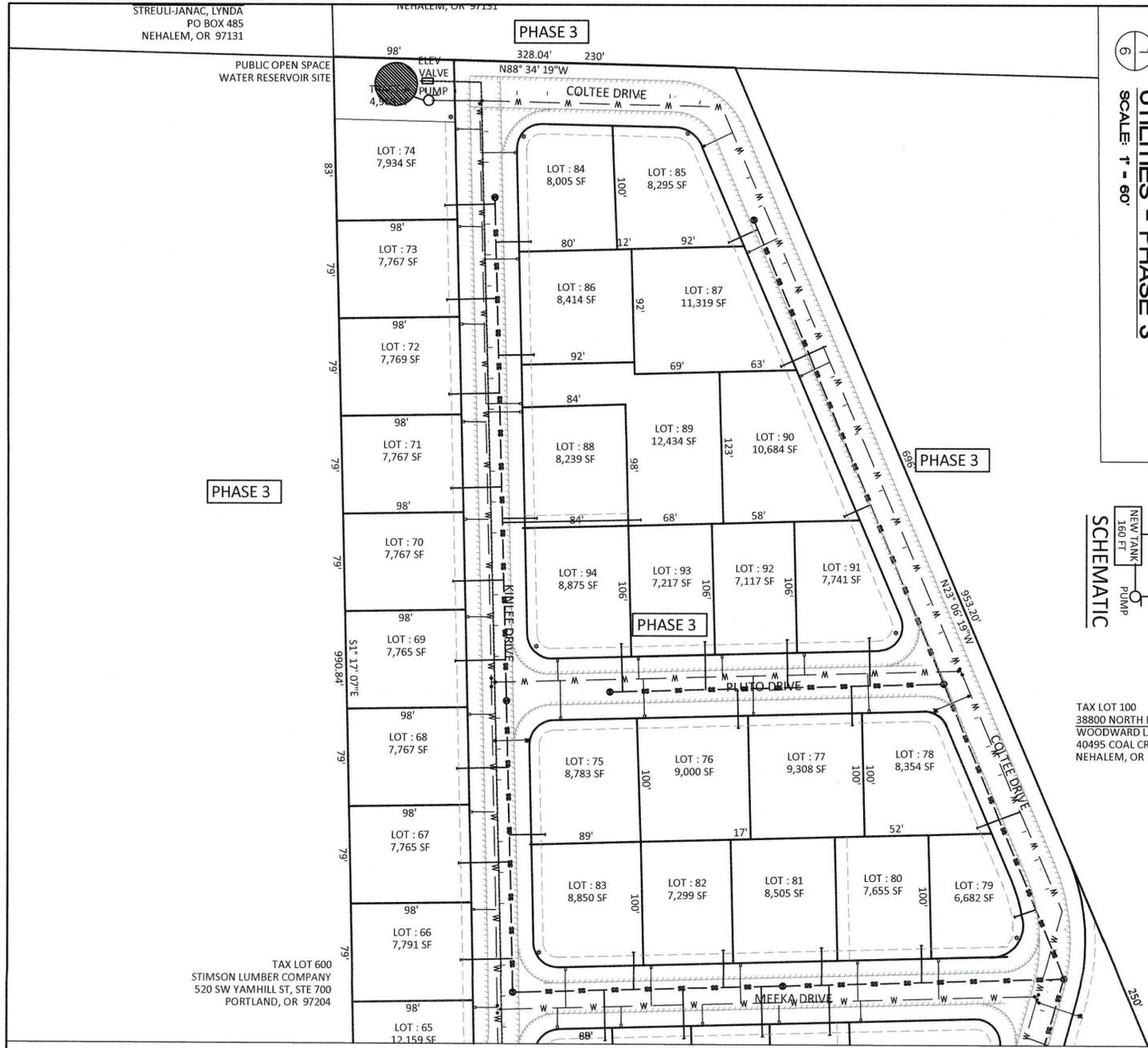
UTILITIES - PHASE 3
SCALE: 1" = 60'



ELEVATIONS:
CITY TANK - 220 FT
PROPOSED TANK - 160 FT
LOT 75 - 155 FT
LOT 3 - 120 FT
USE PUMP AT -300 FT EQ
(ADD 140 FEET = 60 PSI)

- WATERLINE:**
- 1) CONNECT TO CITY PIPE IN RIVERVIEW MEADOWS LANE.
 - 2) INSTALL 8"Ø FEEDER PIPE TO TANK SITE. (≈2100 FT. ALSO EXTEND 8"Ø PIPE FEEDER DOWN RIVERVIEW LANE (ENTRANCED TO NORTH FORK ROAD).
 - 3) INSTALL ATTITUDE VALVE.
 - 4) STORE WATER IN TANK. MIN 80,000-GALLON.
 - 5) DISCHARGE WATER THROUGH PUMP STATION. ADD +60 PSI.
 - 6) SERVE CUSTOMERS IN RIVERVIEW MEADOWS PHASE 1-3.
 - 7) ALL DIST. LINES TO BE LOOPED, INCLUDING PHASE 1.

TAX LOT 100
38800 NORTH FORK ROAD
WOODWARD LARAYNE
40495 COAL CREEK ROAD
NEHALEM, OR 97131



LEGEND:

	PROPOSED PROPERTY LINE
	EXISTING PROPERTY LINE
	SEWER LINE
	MANHOLE
	WATER LINE
	ROAD
	OVERHEAD UTILITIES
	UTILITY POLE
	FIRE HYDRANT
	GATE VALVE
	PROPOSED EASEMENT
	SEWER MAIN
	SEWER MANHOLE/CO
	WATER MAIN
	WATER FEEDER LINE
	WATER VALVE
	FIRE HYDRANT
	WATER SERVICE
	EDGE OF SHOULDER
	EDGE OF ASPHALT
	DITCH
	GRAVEL CHECK DAM
	DRAINAGE CULVERT

NO.	DATE	DESCRIPTION	BY
2	04/01/2023	ADD ADJACENT PROPERTY OWNER INFO	JRM
1	01/06/2023	INITIAL VERSION	JRM

RIVERVIEW MEADOWS DEVELOPMENT, LLC
RIVERVIEW MEADOWS PHASE 3
UTILITY LAYOUT

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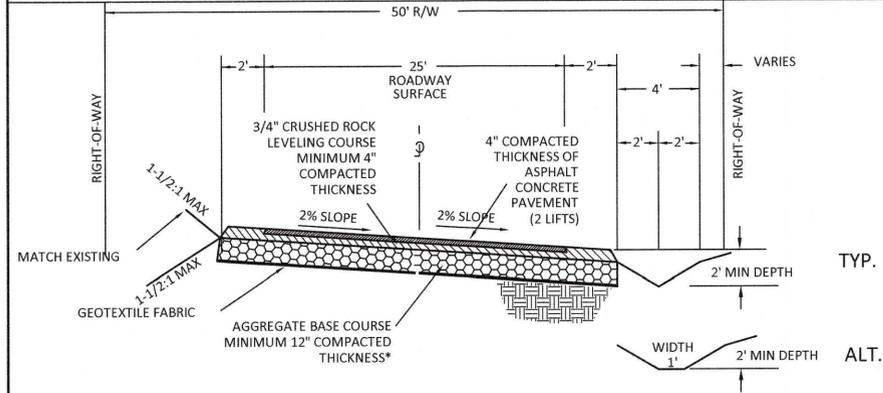


JOB NO. #19-10-RV
DATE MAY 7, 2023



RIVERVIEW MEADOWS SUBDIVISION OFF-SITE IMPROVEMENTS

MAP 3N 10W SECTION 23B



2 ROAD SECTION (COMMERCIAL) NO SCALE

ROADWAY NOTES

- PITCH ROADWAY TO EAST. BUILD FOR HEAVY LOADS TO LOGGING ROAD ENTRANCE (STA 13+20)
- RETAINING WALLS WHERE SHOWN. H=4 FT MAX. STONETERRA WALLS ABOVE ROADWAY (CUT WALLS) LOCK + LOAD RETAINING WALLS BELOW ROADWAY (FILL WALLS)
- EXISTING GRAVEL ROAD. UPDATE TO COUNTY STANDARDS AND PAVE.
- NEW MAIN ENTRANCE TO DEVELOPMENT.
- GRADE DRIVEWAYS TO MATCH ROAD WAY.

WATER NOTES:

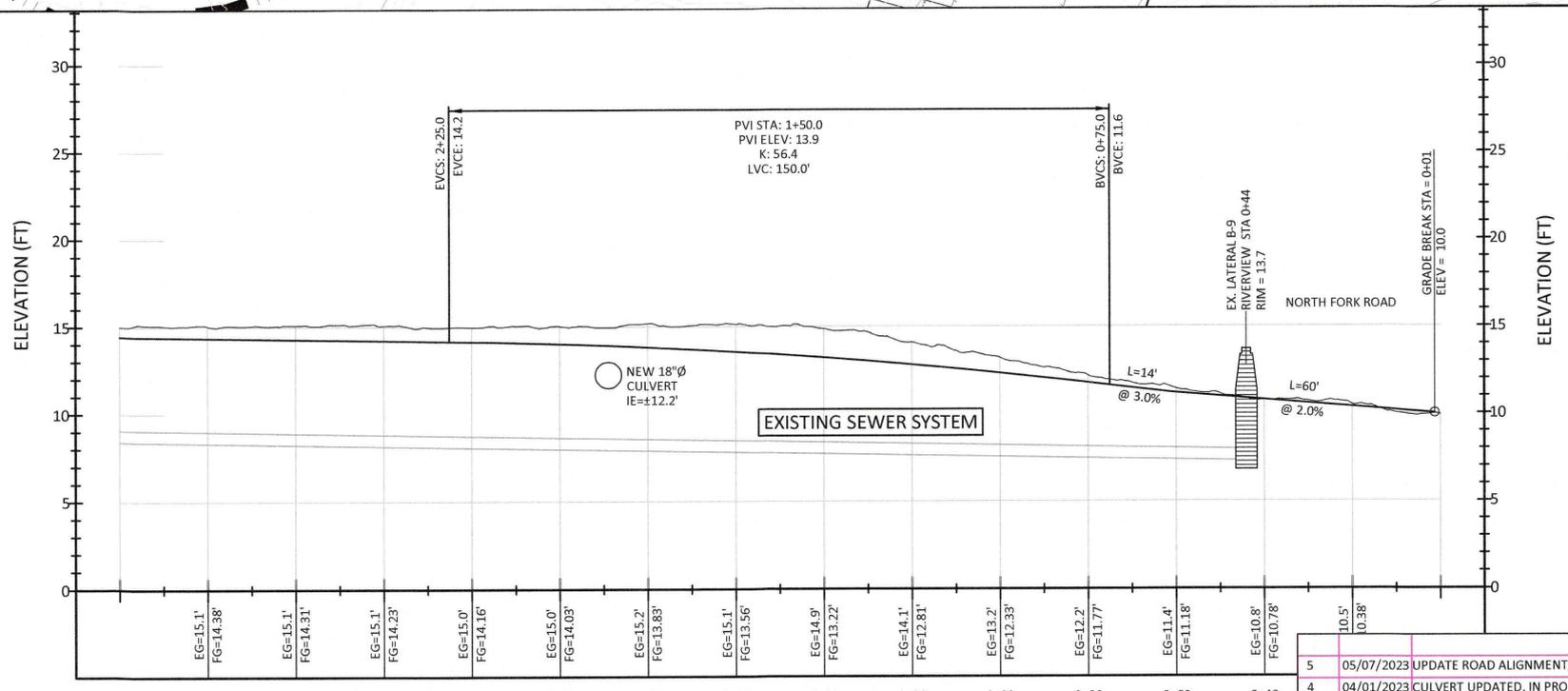
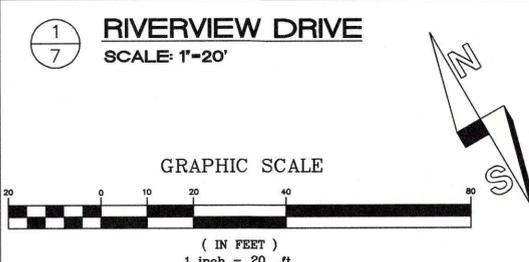
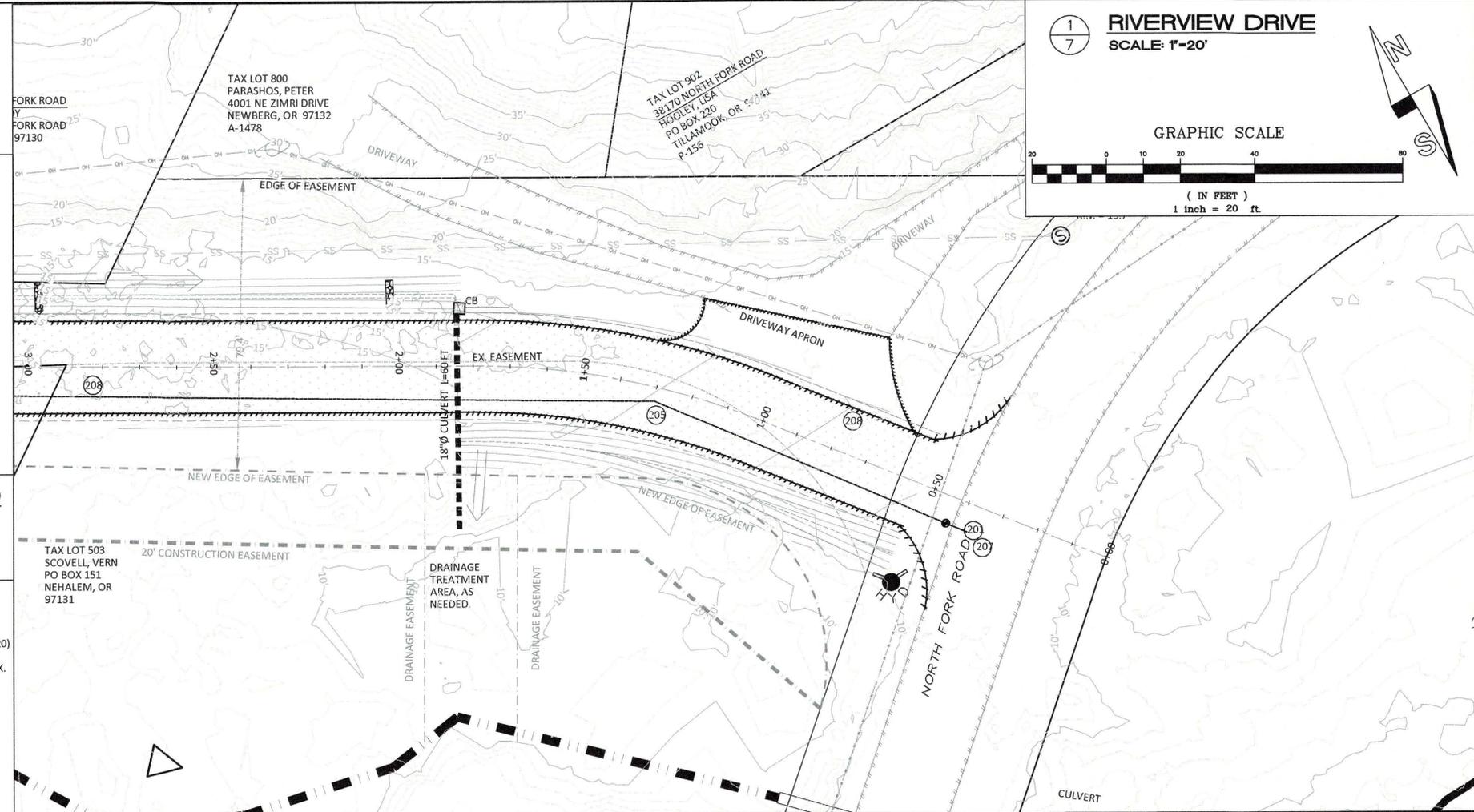
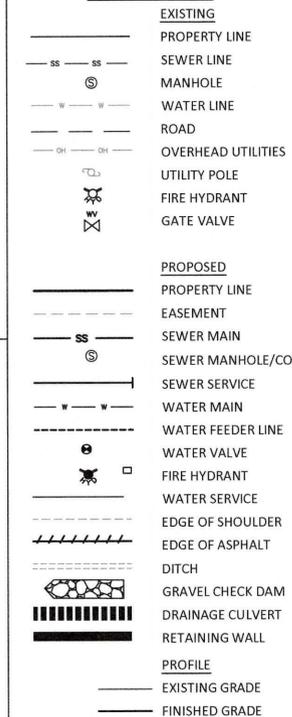
ALL CRUSHED ROCK BEDDING AND BACKFILL 92% COMPACTION. SEE DETAILS SHEET 24.

COORDINATE WORK WITH CITY OF NEHALEM. 36" COVER OVER PIPES. 18" MIN VERTICAL SEPARATION FROM SEWER LINE AT CROSSINGS.

- CONNECT TO EXISTING WATER
- INSTALL 6" TEE WITH GATE VALVES
- INSTALL 6" PVC PIPE
- INSTALL FIRE HYDRANT ASSEMBLY
- INSTALL D.I. BENDS, AS NEEDED
- INSTALL WATER SERVICE ASSEMBLY
- INSTALL 8" TEE WITH GATE VALVES
- INSTALL 8" PVC PIPE
- INSTALL 8" GATE VALVE

PRESSURE TESTING, AND BACTERIOLOGICAL TESTING REQUIRED.

LEGEND:



3 RIVERVIEW DRIVE PROFILE SCALE: 1"=20' VERT: 1"=5'

NO.	DATE	DESCRIPTION	BY
5	05/07/2023	UPDATE ROAD ALIGNMENT/DESIGN	JRM
4	04/01/2023	CULVERT UPDATED, IN PROFILE	JRM
3	03/05/2023	UPDATE TL 700 BOUNDARY	JRM
2	03/05/2023	UPDATE ENTRANCE LAYOUT	JRM
1	01/06/2023	INITIAL VERSION	JRM



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REGISTERED PROFESSIONAL ENGINEER
 JASON R. MORGAN
 OREGON
 JANUARY 15, 2009
 #19-10-RV
 DATE: MAY 7, 2023
 RENEWAL DATE: DECEMBER 31, 2024

RIVERVIEW MEADOWS DEVELOPMENT, LLC
 RIVERVIEW MEADOWS OFF-SITE IMPROVEMENTS
 ENTRANCE ROAD
 NEHALEM, MAP 3N 10W 23B

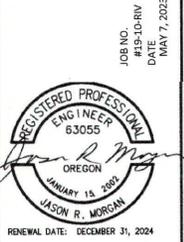
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RENEWAL DATE: DECEMBER 31, 2024

RIVERVIEW MEADOWS DEVELOPMENT, LLC
RIVERVIEW MEADOWS OFF-SITE IMPROVEMENTS
ENTRANCE ROAD-2

NEHALEM, MAP 3N 10W 23B

SHEET

8

OF -24-

RIVERVIEW MEADOWS SUBDIVISION OFF-SITE IMPROVEMENTS

MAP 3N R10W SECTION 23B

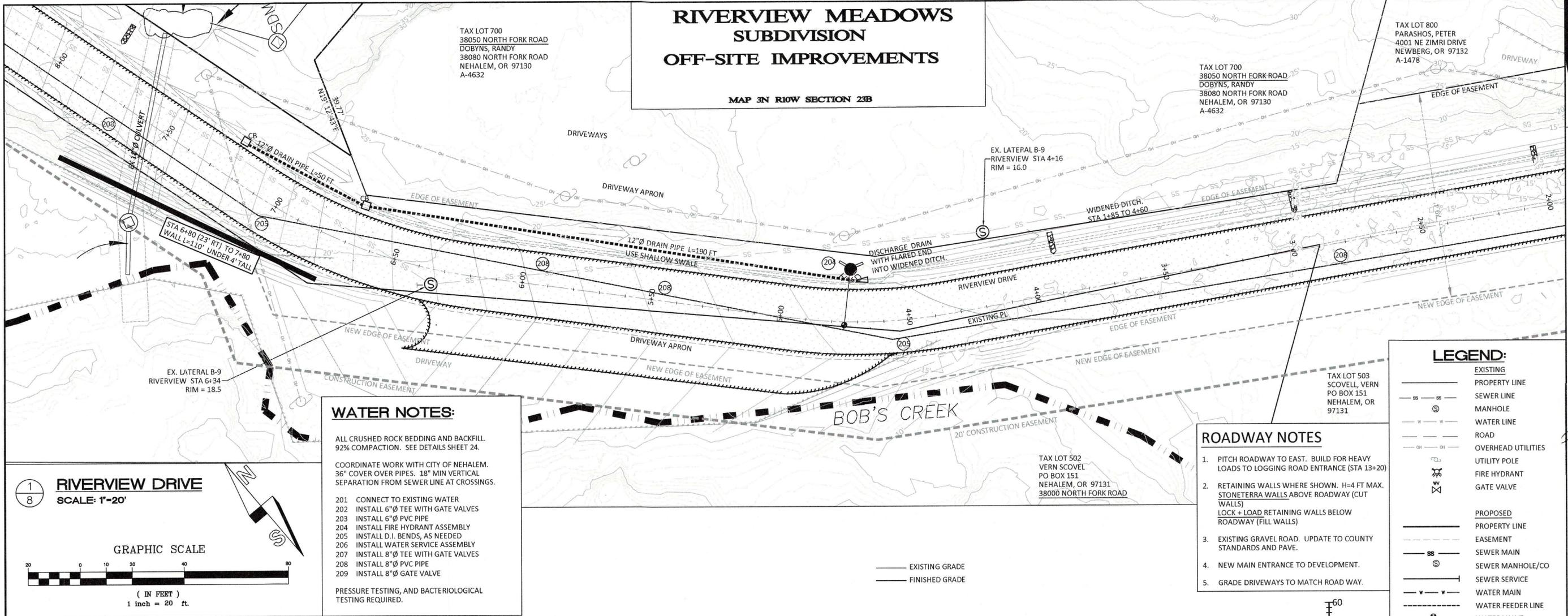
TAX LOT 700
38050 NORTH FORK ROAD
DOBYNS, RANDY
38080 NORTH FORK ROAD
NEHALEM, OR 97130
A-4632

TAX LOT 700
38050 NORTH FORK ROAD
DOBYNS, RANDY
38080 NORTH FORK ROAD
NEHALEM, OR 97130
A-4632

TAX LOT 800
PARASHOS, PETER
4001 NE ZIMRI DRIVE
NEWBERG, OR 97132
A-1478

TAX LOT 503
SCOVELL, VERN
PO BOX 151
NEHALEM, OR
97131

TAX LOT 502
VERN SCOVELL
PO BOX 151
NEHALEM, OR 97131
38000 NORTH FORK ROAD



WATER NOTES:

ALL CRUSHED ROCK BEDDING AND BACKFILL 92% COMPACTION. SEE DETAILS SHEET 24.

COORDINATE WORK WITH CITY OF NEHALEM. 36" COVER OVER PIPES. 18" MIN VERTICAL SEPARATION FROM SEWER LINE AT CROSSINGS.

- 201 CONNECT TO EXISTING WATER
- 202 INSTALL 6" TEE WITH GATE VALVES
- 203 INSTALL 6" PVC PIPE
- 204 INSTALL FIRE HYDRANT ASSEMBLY
- 205 INSTALL D.I. BENDS, AS NEEDED
- 206 INSTALL WATER SERVICE ASSEMBLY
- 207 INSTALL 8" TEE WITH GATE VALVES
- 208 INSTALL 8" PVC PIPE
- 209 INSTALL 8" GATE VALVE

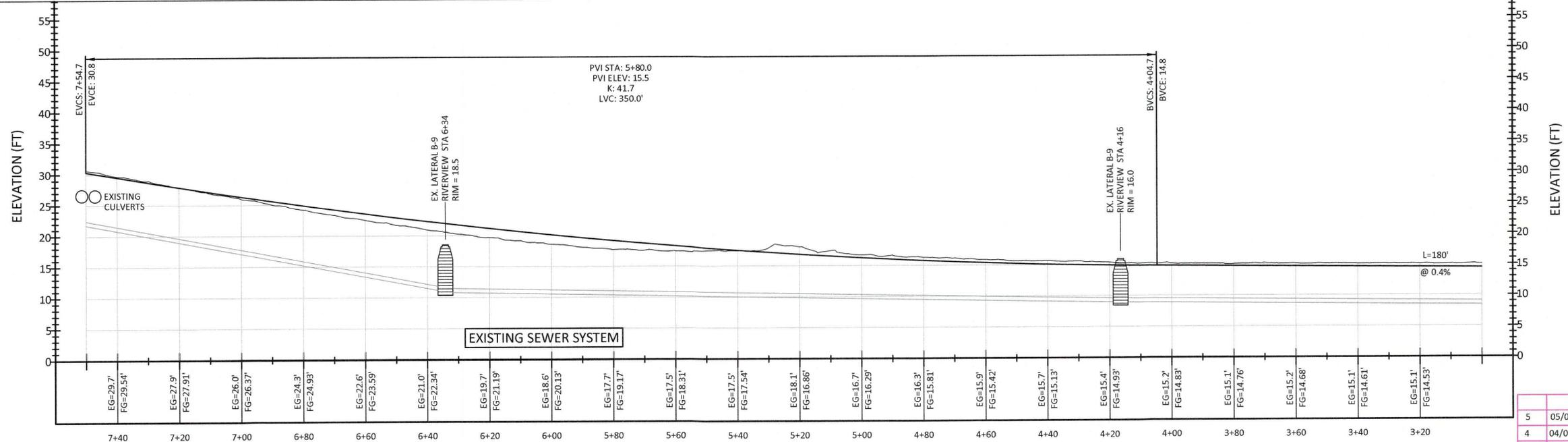
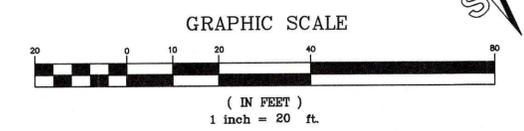
PRESSURE TESTING, AND BACTERIOLOGICAL TESTING REQUIRED.

- ROADWAY NOTES**
- PITCH ROADWAY TO EAST. BUILD FOR HEAVY LOADS TO LOGGING ROAD ENTRANCE (STA 13+20)
 - RETAINING WALLS WHERE SHOWN. H=4 FT MAX. STONETERRA WALLS ABOVE ROADWAY (CUT WALLS) LOCK + LOAD RETAINING WALLS BELOW ROADWAY (FILL WALLS)
 - EXISTING GRAVEL ROAD. UPDATE TO COUNTY STANDARDS AND PAVE.
 - NEW MAIN ENTRANCE TO DEVELOPMENT.
 - GRADE DRIVEWAYS TO MATCH ROAD WAY.

LEGEND:

EXISTING		PROPOSED	
---	PROPERTY LINE	---	PROPERTY LINE
SS	SEWER LINE	---	EASEMENT
⊙	MANHOLE	---	SEWER MAIN
---	WATER LINE	---	SEWER SERVICE
---	ROAD	---	WATER MAIN
---	OVERHEAD UTILITIES	---	WATER FEEDER LINE
⊙	UTILITY POLE	---	WATER VALVE
⊙	FIRE HYDRANT	---	WATER SERVICE
⊙	GATE VALVE	---	EDGE OF SHOULDER
---		---	EDGE OF ASPHALT
---		---	DITCH
---		---	GRAVEL CHECK DAM
---		---	DRAINAGE CULVERT
---		---	RETAINING WALL

RIVERVIEW DRIVE
SCALE: 1"=20'

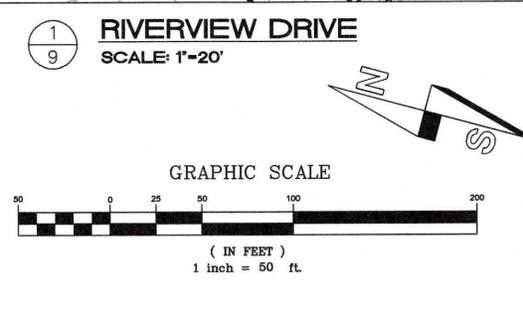
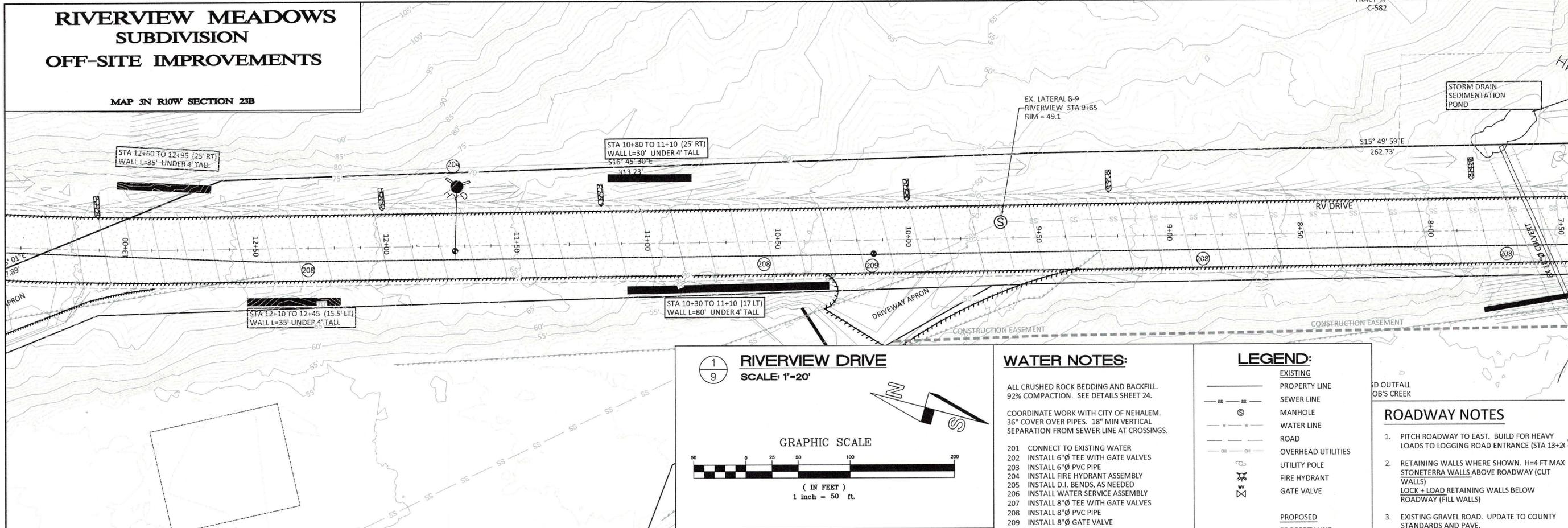


NO.	DATE	DESCRIPTION	BY
5	05/07/2023	UPDATE ROAD ALIGNMENT/DESIGN	JRM
4	04/01/2023	ADD RETAINING WALL INFO	JRM
3	03/05/2023	UPDATE TL 700 BOUNDARY	JRM
2	03/05/2023	UPDATE ENTRANCE LAYOUT	JRM
1	01/06/2023	INITIAL VERSION	JRM

V:\19-10-Riv\Drawg\Riverview Meadows-4.dwg, entrance (2), 5/7/2023 6:30:19 PM

RIVERVIEW MEADOWS SUBDIVISION OFF-SITE IMPROVEMENTS

MAP 3N R10W SECTION 23B



WATER NOTES:

ALL CRUSHED ROCK BEDDING AND BACKFILL 92% COMPACTION. SEE DETAILS SHEET 24.

COORDINATE WORK WITH CITY OF NEHALEM. 36" COVER OVER PIPES. 18" MIN VERTICAL SEPARATION FROM SEWER LINE AT CROSSINGS.

201 CONNECT TO EXISTING WATER
202 INSTALL 6" Ø TEE WITH GATE VALVES
203 INSTALL 6" Ø PVC PIPE
204 INSTALL FIRE HYDRANT ASSEMBLY
205 INSTALL D.I. BENDS, AS NEEDED
206 INSTALL WATER SERVICE ASSEMBLY
207 INSTALL 8" Ø TEE WITH GATE VALVES
208 INSTALL 8" Ø PVC PIPE
209 INSTALL 8" Ø GATE VALVE

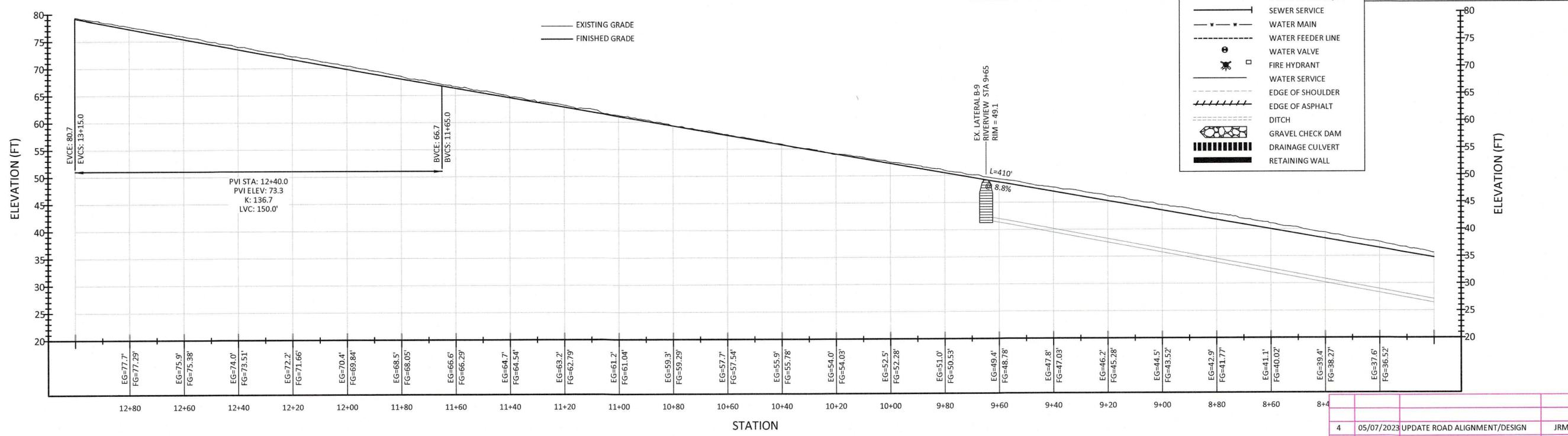
PRESSURE TESTING, AND BACTERIOLOGICAL TESTING REQUIRED.

LEGEND:

EXISTING	
---	PROPERTY LINE
—S—S—	SEWER LINE
—W—W—	MANHOLE
— — —	WATER LINE
—O—O—	ROAD
—X—X—	OVERHEAD UTILITIES
—P—P—	UTILITY POLE
—F—F—	FIRE HYDRANT
—G—G—	GATE VALVE
PROPOSED	
---	PROPERTY LINE
—S—S—	EASEMENT
—S—S—	SEWER MAIN
—S—S—	SEWER MANHOLE/CO
—S—S—	SEWER SERVICE
—W—W—	WATER MAIN
—W—W—	WATER FEEDER LINE
—W—W—	WATER VALVE
—F—F—	FIRE HYDRANT
—W—W—	WATER SERVICE
—E—E—	EDGE OF SHOULDER
—E—E—	EDGE OF ASPHALT
—D—D—	DITCH
—G—G—	GRAVEL CHECK DAM
—C—C—	DRAINAGE CULVERT
—R—R—	RETAINING WALL

ROADWAY NOTES

- PITCH ROADWAY TO EAST. BUILD FOR HEAVY LOADS TO LOGGING ROAD ENTRANCE (STA 13+20)
- RETAINING WALLS WHERE SHOWN. H=4 FT MAX STONETERRA WALLS ABOVE ROADWAY (CUT WALLS) LOCK + LOAD RETAINING WALLS BELOW ROADWAY (FILL WALLS)
- EXISTING GRAVEL ROAD. UPDATE TO COUNTY STANDARDS AND PAVE.
- NEW MAIN ENTRANCE TO DEVELOPMENT.
- GRADE DRIVEWAYS TO MATCH ROAD WAY.



RIVERVIEW DRIVE PROFILE
SCALE: 1"=20' VERT: 1"=5'

NO.	DATE	DESCRIPTION	BY
4	05/07/2023	UPDATE ROAD ALIGNMENT/DESIGN	JRM
3	04/01/2023	ADD RETAINING WALL INFO	JRM
2	03/05/2023	UPDATE ENTRANCE LAYOUT	JRM
1	01/06/2023	INITIAL VERSION	JRM



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INSPECTION
PLANNING

REGISTERED PROFESSIONAL
ENGINEER
OREGON
JANUARY 15, 2005
JASON R. MORGAN
RENEWAL DATE: DECEMBER 31, 2024

RIVERVIEW MEADOWS DEVELOPMENT, LLC
RIVERVIEW MEADOWS OFF-SITE IMPROVEMENTS
ENTRANCE ROAD-3

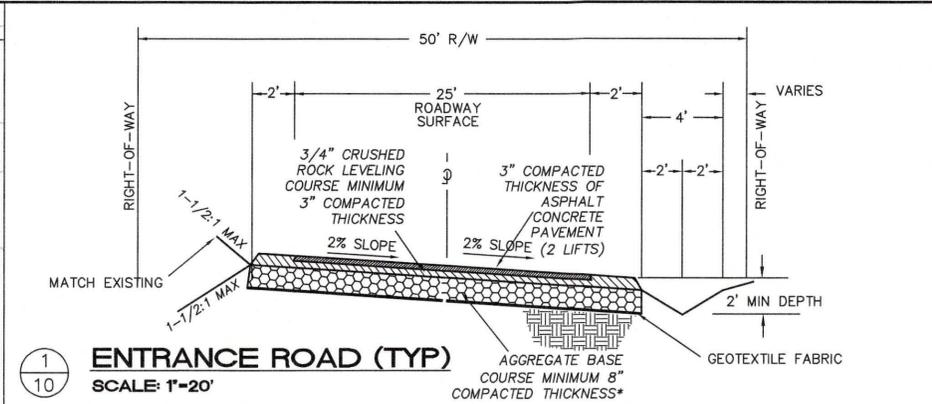
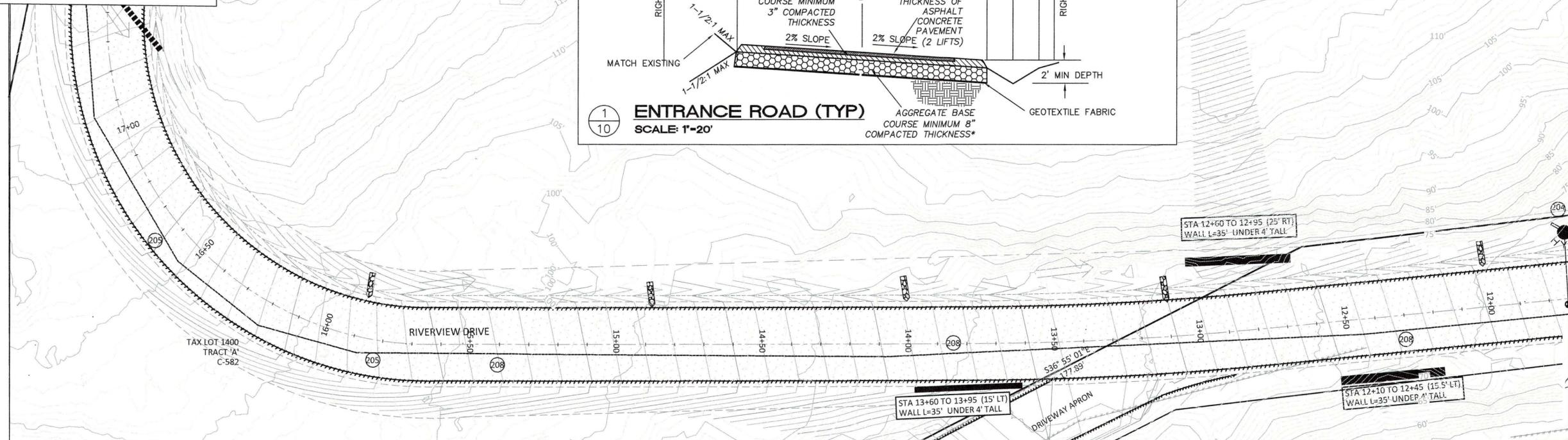
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RIVERVIEW MEADOWS SUBDIVISION OFF-SITE IMPROVEMENTS

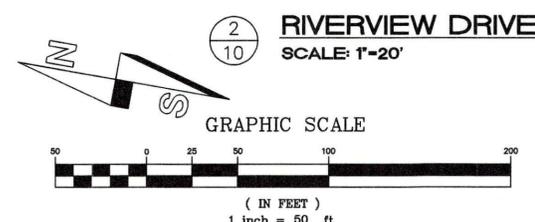
MAP 3N R10W SECTION 23B

LEGEND:

- EXISTING
 - PROPERTY LINE
 - SEWER LINE
 - MANHOLE
 - WATER LINE
 - ROAD
 - OVERHEAD UTILITIES
 - UTILITY POLE
 - FIRE HYDRANT
 - GATE VALVE
- PROPOSED
 - PROPERTY LINE
 - EASEMENT
 - SEWER MAIN
 - SEWER MANHOLE/CO
 - SEWER SERVICE
 - WATER MAIN
 - WATER FEEDER LINE
 - WATER VALVE
 - FIRE HYDRANT
 - WATER SERVICE
 - EDGE OF SHOULDER
 - EDGE OF ASPHALT
 - DITCH
 - GRAVEL CHECK DAM
 - DRAINAGE CULVERT
 - RETAINING WALL



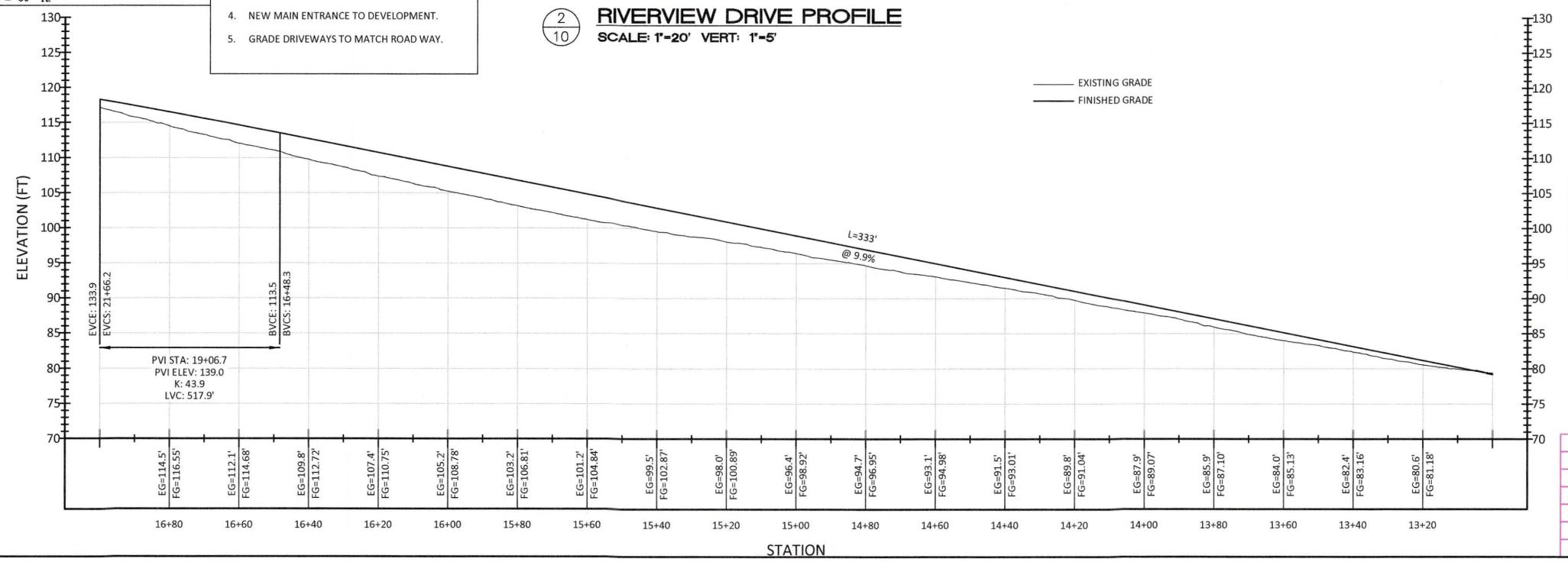
ENTRANCE ROAD (TYP)
SCALE: 1"=20'



RIVERVIEW DRIVE
SCALE: 1"=20'

- ### ROADWAY NOTES
- PITCH ROADWAY TO EAST. BUILD FOR HEAVY LOADS TO LOGGING ROAD ENTRANCE (STA 13+20)
 - RETAINING WALLS WHERE SHOWN. H=4 FT MAX. STONETERRA WALLS ABOVE ROADWAY (CUT WALLS). LOCK & LOAD RETAINING WALLS BELOW ROADWAY (FILL WALLS)
 - EXISTING GRAVEL ROAD. UPDATE TO COUNTY STANDARDS AND PAVE.
 - NEW MAIN ENTRANCE TO DEVELOPMENT.
 - GRADE DRIVEWAYS TO MATCH ROAD WAY.

RIVERVIEW DRIVE PROFILE
SCALE: 1"=20' VERT: 1"=5'



- ### WATER NOTES:
- ALL CRUSHED ROCK BEDDING AND BACKFILL. 92% COMPACTION. SEE DETAILS SHEET 24.
 - COORDINATE WORK WITH CITY OF NEHALEM. 36" COVER OVER PIPES. 18" MIN VERTICAL SEPARATION FROM SEWER LINE AT CROSSINGS.
 - 201 CONNECT TO EXISTING WATER
 - 202 INSTALL 6" Ø TEE WITH GATE VALVES
 - 203 INSTALL 6" Ø PVC PIPE
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 - 205 INSTALL D.I. BENDS, AS NEEDED
 - 206 INSTALL WATER SERVICE ASSEMBLY
 - 207 INSTALL 8" Ø TEE WITH GATE VALVES
 - 208 INSTALL 8" Ø PVC PIPE
 - 209 INSTALL 8" Ø GATE VALVE
- PRESSURE TESTING, AND BACTERIOLOGICAL TESTING REQUIRED.



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REGISTERED PROFESSIONAL
ENGINEER
63055
OREGON
JASON R. MORGAN
RENEWAL DATE: DECEMBER 31, 2024

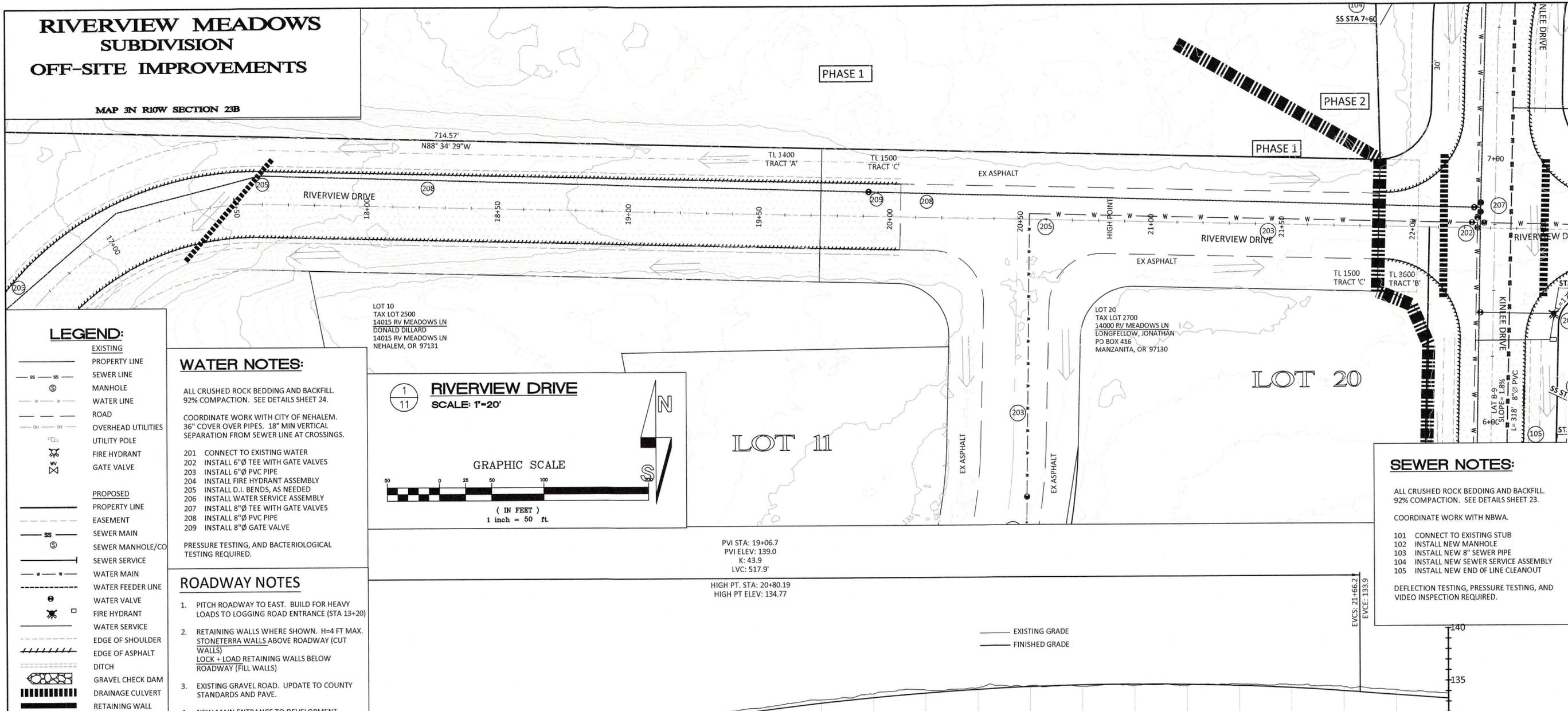
RIVERVIEW MEADOWS DEVELOPMENT, LLC
RIVERVIEW MEADOWS OFF-SITE IMPROVEMENTS
ENTRANCE ROAD-4
NEHALEM, MAP 3N, 10W, 23B

NO.	DATE	DESCRIPTION	BY
4	05/07/2023	UPDATE ROAD ALIGNMENT/DESIGN	JRM
3	04/01/2023	ADD ADJACENT PROPERTY OWNER INFO	JRM
2	03/05/2023	UPDATE ENTRANCE LAYOUT	JRM
1	01/06/2023	INITIAL VERSION	JRM

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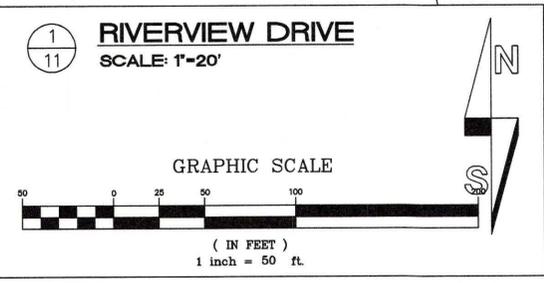
RIVERVIEW MEADOWS SUBDIVISION OFF-SITE IMPROVEMENTS

MAP 3N R10W SECTION 23B



LOT 10
TAX LOT 2500
14015 RV MEADOWS LN
DONALD DILLARD
14015 RV MEADOWS LN
NEHALEM, OR 97131

LOT 20
TAX LOT 2700
14000 RV MEADOWS LN
LONGFELLOW, JONATHAN
PO BOX 416
MANZANITA, OR 97130



PVI STA: 19+06.7
PVI ELEV: 139.0
K: 43.9
LVC: 517.9'
HIGH PT. STA: 20+80.19
HIGH PT ELEV: 134.77

— EXISTING GRADE
— FINISHED GRADE

WATER NOTES:
ALL CRUSHED ROCK BEDDING AND BACKFILL. 92% COMPACTION. SEE DETAILS SHEET 24.
COORDINATE WORK WITH CITY OF NEHALEM. 36" COVER OVER PIPES. 18" MIN VERTICAL SEPARATION FROM SEWER LINE AT CROSSINGS.

- 201 CONNECT TO EXISTING WATER
- 202 INSTALL 6" TEE WITH GATE VALVES
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- 205 INSTALL D.I. BENDS, AS NEEDED
- 206 INSTALL WATER SERVICE ASSEMBLY
- 207 INSTALL 8" TEE WITH GATE VALVES
- 208 INSTALL 8" PVC PIPE
- 209 INSTALL 8" GATE VALVE

PRESSURE TESTING, AND BACTERIOLOGICAL TESTING REQUIRED.

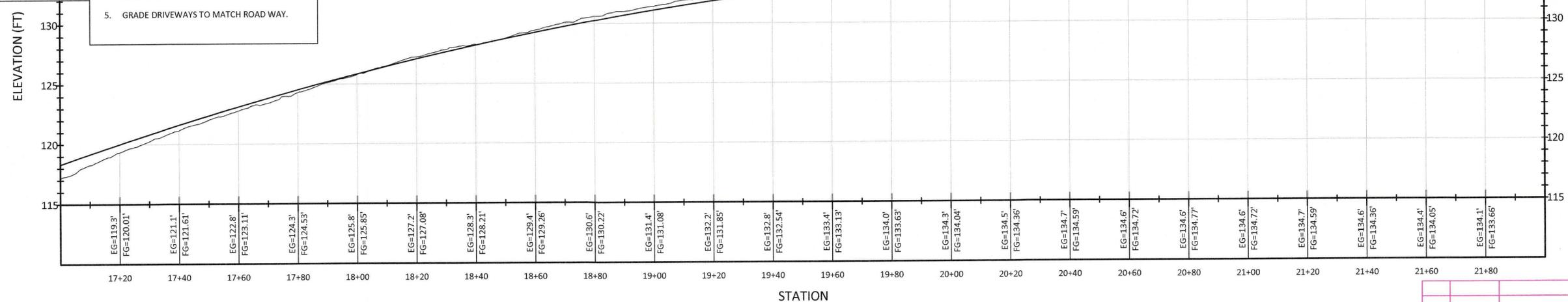
ROADWAY NOTES

1. PITCH ROADWAY TO EAST. BUILD FOR HEAVY LOADS TO LOGGING ROAD ENTRANCE (STA 13+20)
2. RETAINING WALLS WHERE SHOWN. H=4 FT MAX. STONETERRA WALLS ABOVE ROADWAY (CUT WALLS) LOCK + LOAD RETAINING WALLS BELOW ROADWAY (FILL WALLS)
3. EXISTING GRAVEL ROAD. UPDATE TO COUNTY STANDARDS AND PAVE.
4. NEW MAIN ENTRANCE TO DEVELOPMENT.
5. GRADE DRIVEWAYS TO MATCH ROAD WAY.

SEWER NOTES:
ALL CRUSHED ROCK BEDDING AND BACKFILL. 92% COMPACTION. SEE DETAILS SHEET 23.
COORDINATE WORK WITH NBWA.

- 101 CONNECT TO EXISTING STUB
- 102 INSTALL NEW MANHOLE
- 103 INSTALL NEW 8" SEWER PIPE
- 104 INSTALL NEW SEWER SERVICE ASSEMBLY
- 105 INSTALL NEW END OF LINE CLEANOUT

DEFLECTION TESTING, PRESSURE TESTING, AND VIDEO INSPECTION REQUIRED.



RIVERVIEW DRIVE PROFILE
SCALE: 1"=20' VERT: 1"=5'

NO.	DATE	DESCRIPTION	BY
4	05/07/2023	UPDATE ROAD ALIGNMENT/DESIGN	JRM
3	04/01/2023	ADD ADJACENT PROPERTY OWNER INFO	JRM
2	03/05/2023	UPDATE SEWER PROFILES	JRM
1	01/06/2023	INITIAL VERSION	JRM



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REGISTERED PROFESSIONAL
ENGINEER
63055
OREGON
MASON R. MORGAN
RENEWAL DATE: DECEMBER 31, 2024

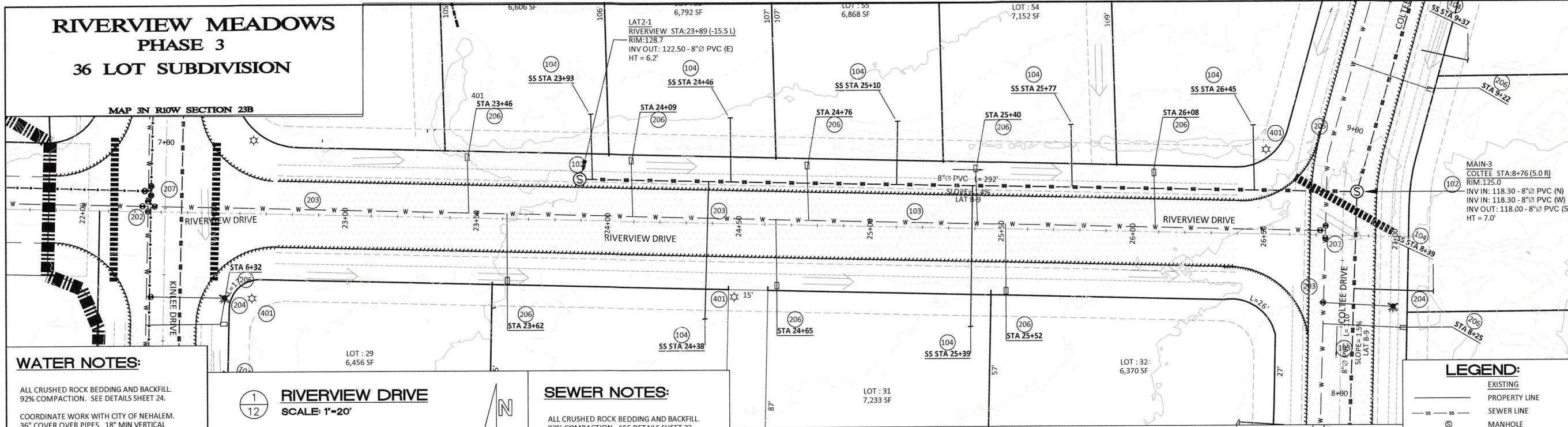
RIVERVIEW MEADOWS DEVELOPMENT, LLC
RIVERVIEW MEADOWS OFF-SITE IMPROVEMENTS
ENTRANCE ROAD-5
NEHALEM, MAP 3N 10W 23B

SHEET
11
OF -24-

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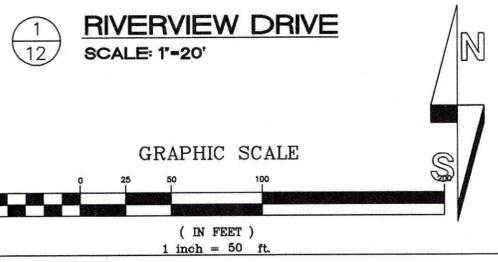
RIVERVIEW MEADOWS PHASE 3 36 LOT SUBDIVISION

MAP 3N RIOW SECTION 23B



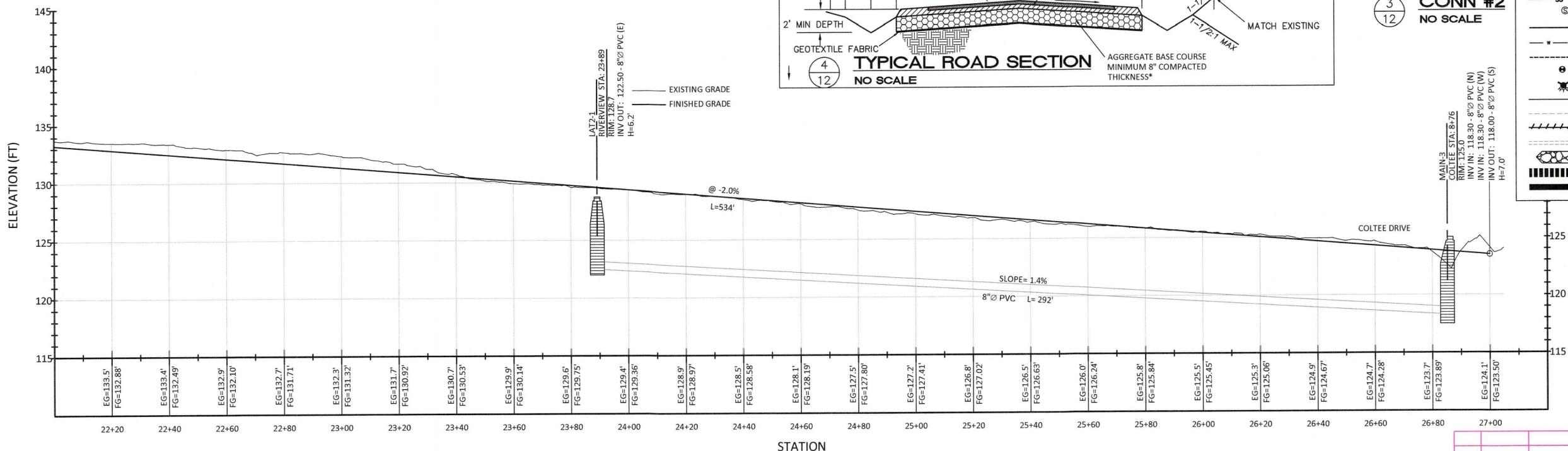
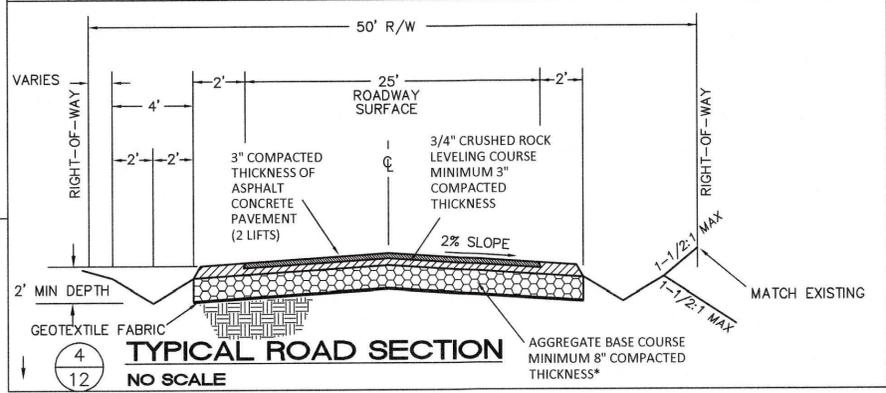
WATER NOTES:

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- 206 INSTALL WATER SERVICE ASSEMBLY
- 207 INSTALL 8" TEE WITH GATE VALVES
- 208 INSTALL 8" PVC PIPE
- 209 INSTALL 8" GATE VALVE
- PRESSURE TESTING, AND BACTERIOLOGICAL TESTING REQUIRED.



SEWER NOTES:

- ALL CRUSHED ROCK BEDDING AND BACKFILL 92% COMPACTION. SEE DETAILS SHEET 23.
- COORDINATE WORK WITH NBWA.
- 101 CONNECT TO EXISTING STUB
- 102 INSTALL NEW MANHOLE
- 103 INSTALL NEW 8" SEWER PIPE
- 104 INSTALL NEW SEWER SERVICE ASSEMBLY
- 105 INSTALL NEW END OF LINE CLEANOUT
- DEFLECTION TESTING, PRESSURE TESTING, AND VIDEO INSPECTION REQUIRED.



LEGEND:

- EXISTING PROPERTY LINE
- SEWER LINE
- MANHOLE
- WATER LINE
- ROAD
- OVERHEAD UTILITIES
- UTILITY POLE
- FIRE HYDRANT
- GATE VALVE
- PROPOSED PROPERTY LINE
- EASEMENT
- SEWER MAIN
- SEWER MANHOLE/CO
- SEWER SERVICE
- WATER MAIN
- WATER FEEDER LINE
- WATER VALVE
- FIRE HYDRANT
- WATER SERVICE
- EDGE OF SHOULDER
- EDGE OF ASPHALT
- DITCH
- GRAVEL CHECK DAM
- DRAINAGE CULVERT
- RETAINING WALL

CONN #2
NO SCALE

RIVERVIEW DRIVE PROFILE SCALE: 1"=20' VERT: 1"=5'

NO.	DATE	DESCRIPTION	BY
3	05/07/2023	ADJUST SHEET VIEWS	JRM
2	03/05/2023	UPDATE SEWER PROFILES	JRM
1	01/06/2023	INITIAL VERSION	JRM



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RENEWAL DATE: DECEMBER 31, 2024

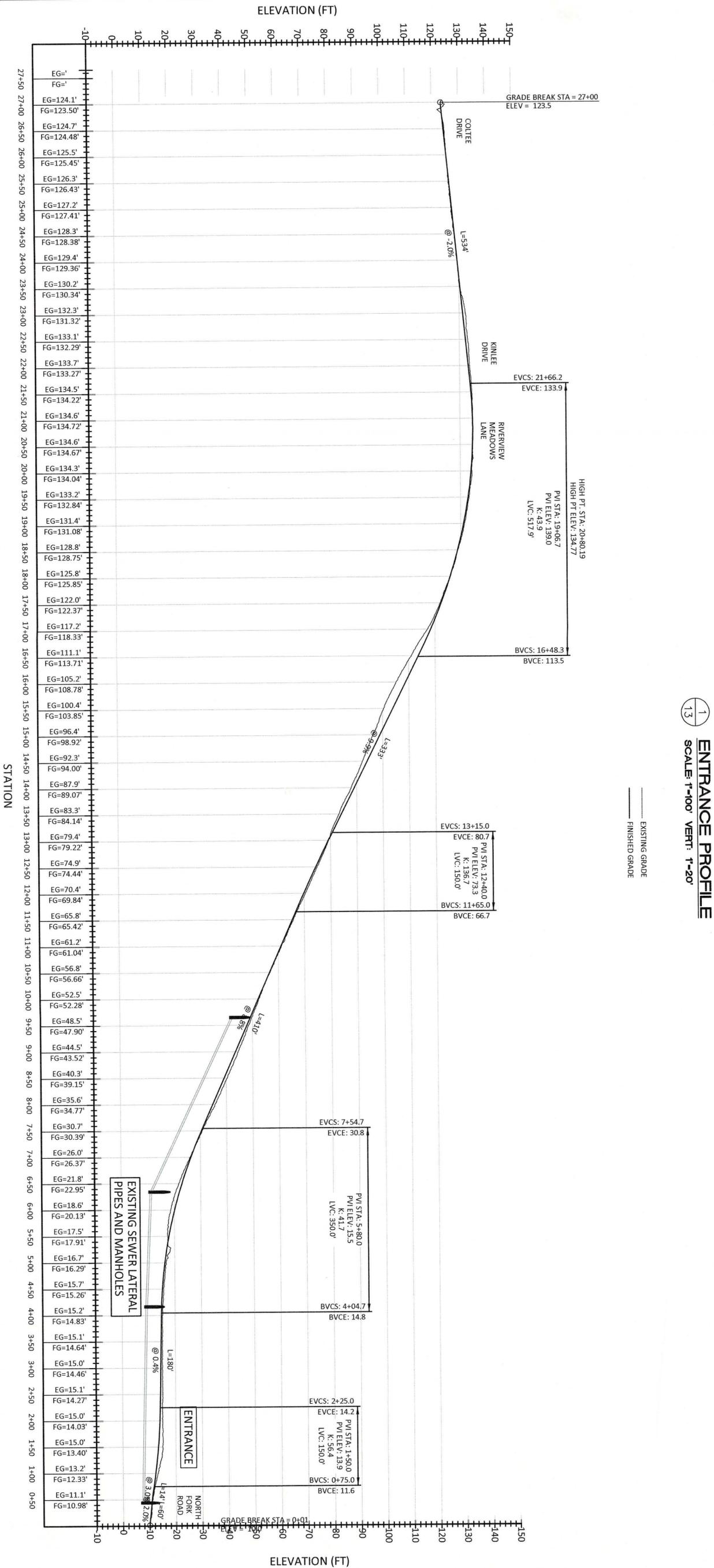
RIVERVIEW MEADOWS DEVELOPMENT, LLC
RIVERVIEW MEADOWS PHASE 2
ENTRANCE ROAD-6

SHEET
12
OF -24-

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RIVERVIEW MEADOWS PHASE 3 36 LOT SUBDIVISION

MAP 3N 10W SECTION 23B



ENTRANCE PROFILE
SCALE: H=1"=100' VERT: V=1"=20'

EXISTING GRADE
FINISHED GRADE

NO.	DATE	DESCRIPTION	BY
1	01/05/2023	INITIAL VERSION	JRM
2	03/05/2023	UPDATE ENTRANCE LAYOUT	JRM
3	05/07/2023	REALIGN ROADWAY	JRM

SHEET
13
OF -24-

RIVERVIEW MEADOWS DEVELOPMENT, LLC
RIVERVIEW MEADOWS PHASE 3
ENTRANCE ROAD PROFILE

NEHALEM, MAP 3N 10W 23B



JOB NO. #19-10-RIV
DATE MAY 7, 2023

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